



## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 460 Richmond Avenue(Ferry Circle)

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco and half timbering

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 -2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

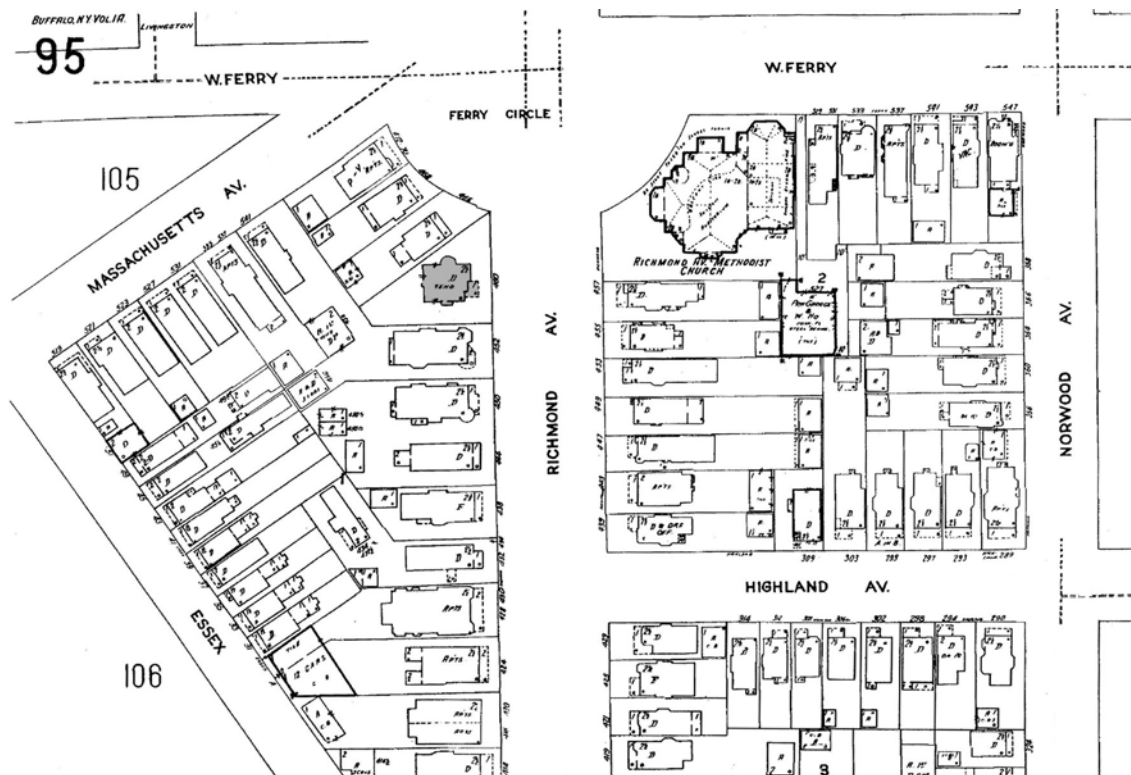
The single-family house at 460 Richmond Avenue (Ferry Circle) is set on a large trapezoidal lot, located on the south west side of the rotary at the intersection of West Ferry Avenue and Richmond Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, styled, half-timbered Queen Anne residence. It has a large, irregular, squared plan and is set on a stone foundation. The façade has a half-width, gabled porch set to the south, with solid brick rail and supports capped with cut stone and a wide central stair. The main entrance is located under the porch, to the north. A single window sets to the south of the entrance under the porch. An additional single window sets in the far south bay. The north bay is dominated by a two-story polygonal bay with tiered triple windowing that ends flush beneath a large extended, gabled dormer punctuated by a small multi-paned casement window with a pointed arch transom. The second story façade to the south is defined by simple single windowing. Two small gabled dormers rest to the south on the front roof slope. Large, two-story, flat roofed semi-circular bay visible to the front on the north elevation. Window grouping punctuate the side gable ends. Notable brick chimney to the north of the front slope. Exterior wall fabric is brick with stucco and half-timbering. Fenestration is primarily one-over-one, six-over-one, and eight-over-one double-hung wood sash; stone lintels and sills. Extensive detail including elaborate half-timbering with framing and cutouts, scalloped verge boards, and bracketing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 460 Richmond Avenue (Ferry Circle) is significant as an excellent representative example of a two-and-one-half story, cross gabled, styled half-timbered Queen Anne residence. Styled urban singles of varying Queen Anne influence, such as this, were housing typical of upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 95



PHOTOGRAPH: (Grant-Ferry-Forest: R-39; N-5)









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### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 466 Richmond Avenue(Ferry Circle)

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c.1886

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

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The single-family house at 466 Richmond Avenue (Ferry Circle) is set on a trapezoidal lot, located on the south west side of the rotary at the intersection of West Ferry Avenue and Richmond Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

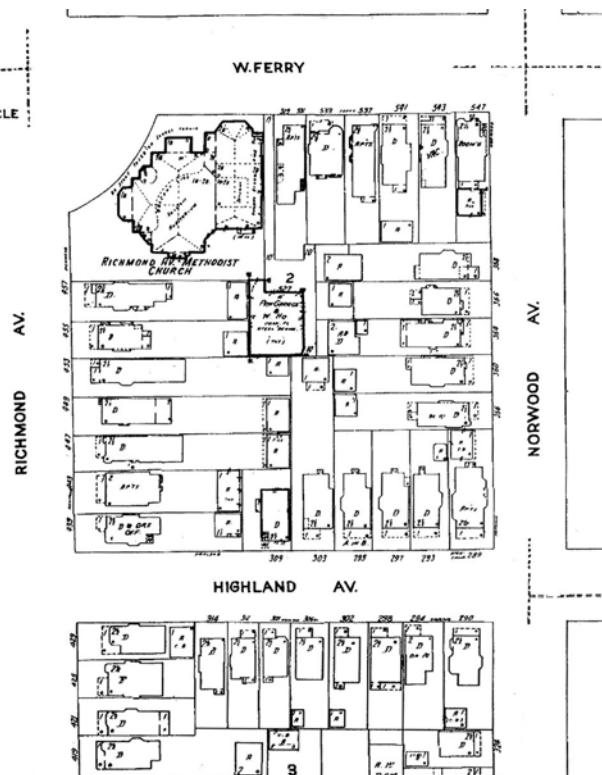
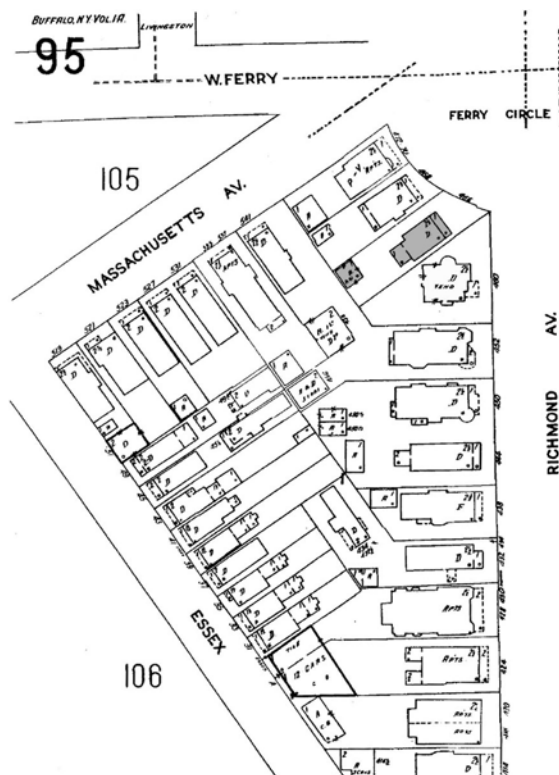
A simple, two-story, hipped roof, urban, frame, foursquare influenced residence of mixed styling. It has a rectangular plan with slight rear extension and is set on a stone foundation. The façade has a full-width enclosed living porch with brick base, windowed upper, and cut corners with  $\frac{3}{4}$ -height brick pilasters atop the base. The second floor façade has an open porch with modern metal rail and supports, a porch entrance off center to the south, and a single window set to either side of the entrance. A large hipped roof dormer punctuated by a small triple window group, extends from the central ridge on the front roof slope. Exterior wall fabric is clapboard. Fenestration is double-hung wood sash, with 1/1, 4/1, and 6/1 lights. Tall brick chimney sets at the forward corner of the south roof slope; additional chimney at rear. Detailing includes simple corner boards and trim.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 466 Richmond Avenue (Ferry Circle) is significant as a good representative example of a simple, two-story, hipped roof, urban, frame, foursquare influenced residence of mixed styling. Modestly styled singles of the prevailing trends, such as this, were common housing for lower middle class families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 95



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-15)







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### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 484 Richmond Avenue (Ferry Circle)

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1887

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 484 Richmond Avenue (Ferry Circle) is set on a slightly trapezoidal lot, located on the north west side of the rotary at the intersection of West Ferry Avenue and Richmond Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

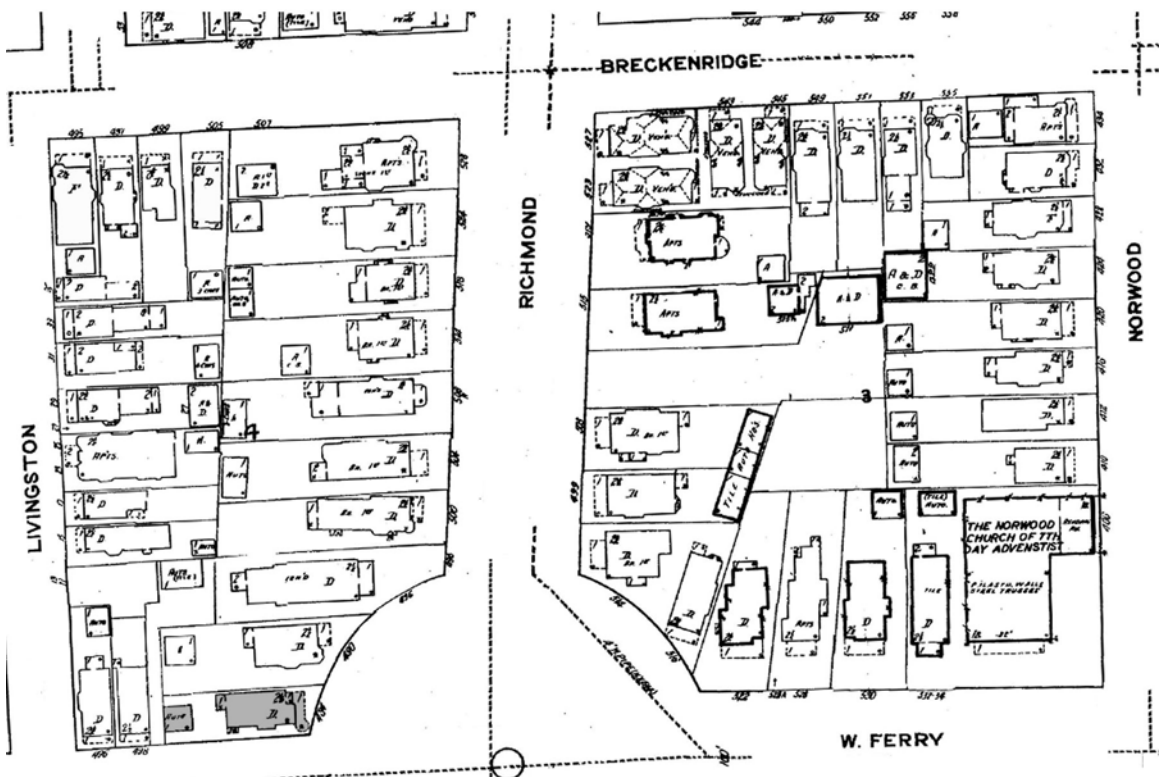
A two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne styling. It has a roughly rectangular plan and is set on a stone foundation. The façade has a shed roof porch with solid clapboard rail and foundation cover, slender column supports, wide frieze space, polygonal extension with conical hipped roof to the south, and pedimented extension in the north over the railed entry stair. The modestly framed main entrance is located in niche of the north bay of the façade. The south bay dominated by a cross gable with lower projection; simple windowing on the lower façade under the porch. The second floor facade is defined by a polygonal oriel with triple windowing set centrally on the south bay projection. Small paired window accents the pent enclosed and bracketed gable end. Small roofed entry porch with stair at the rear corner of the south elevation. Two-story polygonal bay with second story oriel accent, visible on the south elevation flush beneath a projecting gabled dormer. Brick chimney near the ridge on the south slope. Exterior wall fabric is clapboard with decorative wood shingle. Fenestration is primarily one-over-one double-hung wood sash.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 484 Richmond Avenue (Ferry Circle) is significant as a good representative example of a two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne styling. Moderately styled Queen Anne residences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-24)









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### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 490 Richmond Avenue (Ferry Circle)

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Frank W. Caulkins Date of construction, if known 1899

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 490 Richmond Avenue (Ferry Circle) is set on a slightly trapezoidal lot, located on the north west side of the rotary at the intersection of West Ferry Avenue and Richmond Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

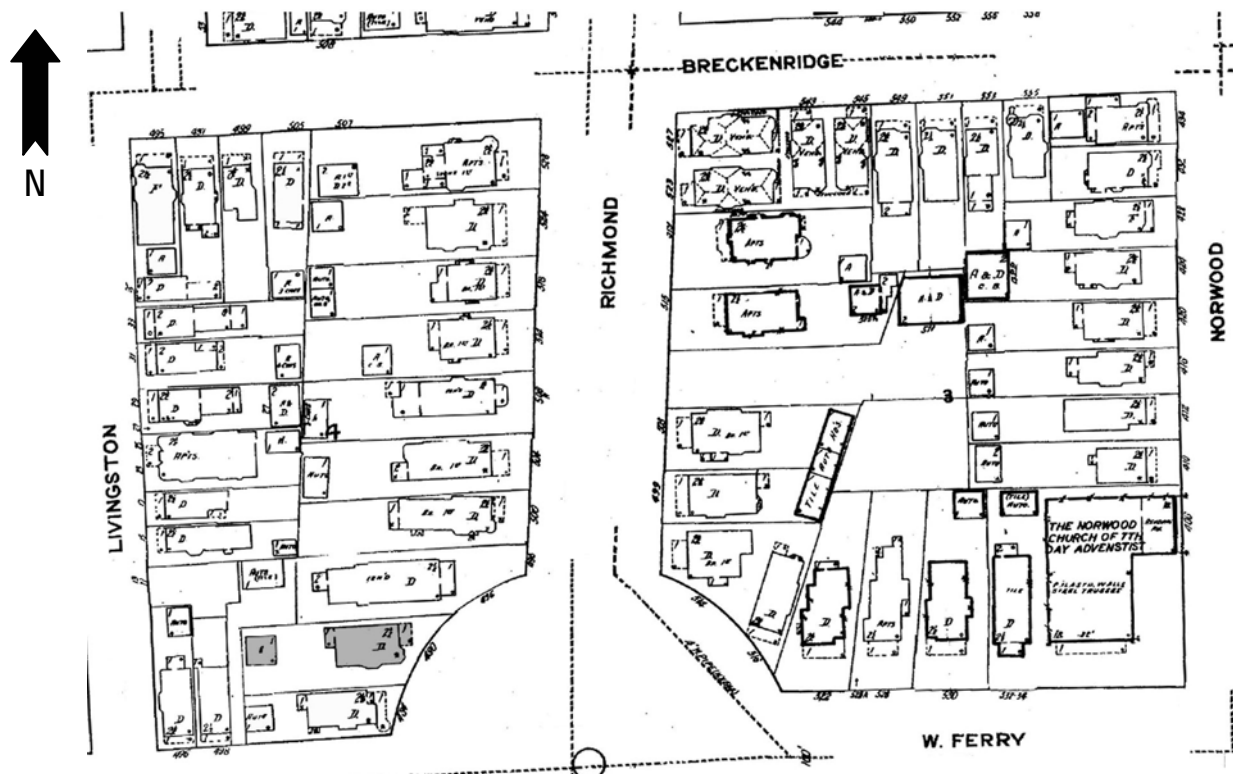
A two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne styling. It has a roughly rectangular plan and is set on a stone foundation. The façade has a ½-width hipped roof porch in the north, with square brick column supports, metal rail, large entablature, and a railed entry stair. The modestly enframed main entrance is located in the north bay of the façade, under the porch. The south bay dominated by a two-story polygonal bay. The second floor façade has two additional single windows in the north bay. The large closed gable end is extensively trimmed and accented by a unique triple window group with pedimented enframing. Side cross gable to the south similarly defined; large, central, two-story, bay visible on the south elevation. Several brick chimneys visible. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes wide frieze with cornice, raked molding, end returns, and modest framing.

A garage sets to the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 490 Richmond Avenue (Ferry Circle) is significant as a good representative example of an architect designed, two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne styling. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Edward H. Goetz. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-25)







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County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Frank. M. Shurman Date of construction, if known 1919

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☒ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

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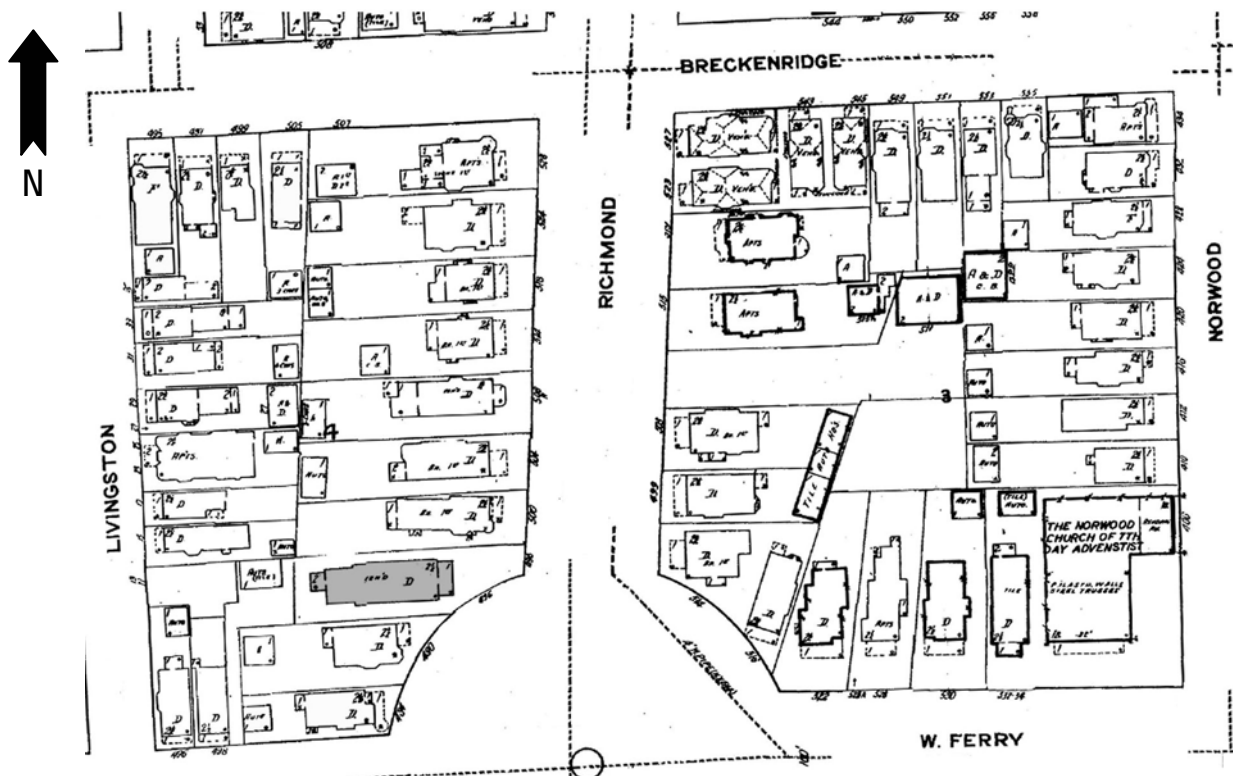
The single-family house at 496 Richmond Avenue (Ferry Circle) is set on a long slightly trapezoidal lot, located on the north west side of the rotary at the intersection of West Ferry Avenue and Richmond Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban, brick residence of Craftsman styling. It has a long, rough rectangular plan. The façade has a centered  $\frac{3}{4}$ -width enclosed living porch with brick base, ornamented brick corner pilasters, patterned window upper topped by transoms, and a wide hipped pent overhang with exposed rafter tails. The second floor façade has an open porch with metal rail, centered French doors, and a single window set to either side of the entrance. A large hipped roof dormer punctuated by a small quartet ribboned window group, sets high on the front roof slope. Two smaller dormers of similar design set spaced along the length of the south roof slope. Slight central projection on the south elevation. The main entrance is located to the front on the south elevation, roofed and reached by a small stair and open entry porch. Exterior wall fabric is brick. Fenestration is double-hung wood sash, with 1/1, 4/1, and 6/1 lights; and fixed – noted sills. Tall brick chimney visible on the north roof slope. Detailing includes extended open eaves and exposed rafter tails.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 496 Richmond Avenue is significant as a good representative example of an architect designed, two-story, hipped roof, urban, brick residence of Craftsman styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Though such dwellings were typical housing for families in the early twentieth century on the West Side, those of the earlier Queen Anne style are most predominant. Built for Henry Walkind. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-26)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 499 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Stephen R. Berry Date of construction, if known 1914

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and stone facing

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

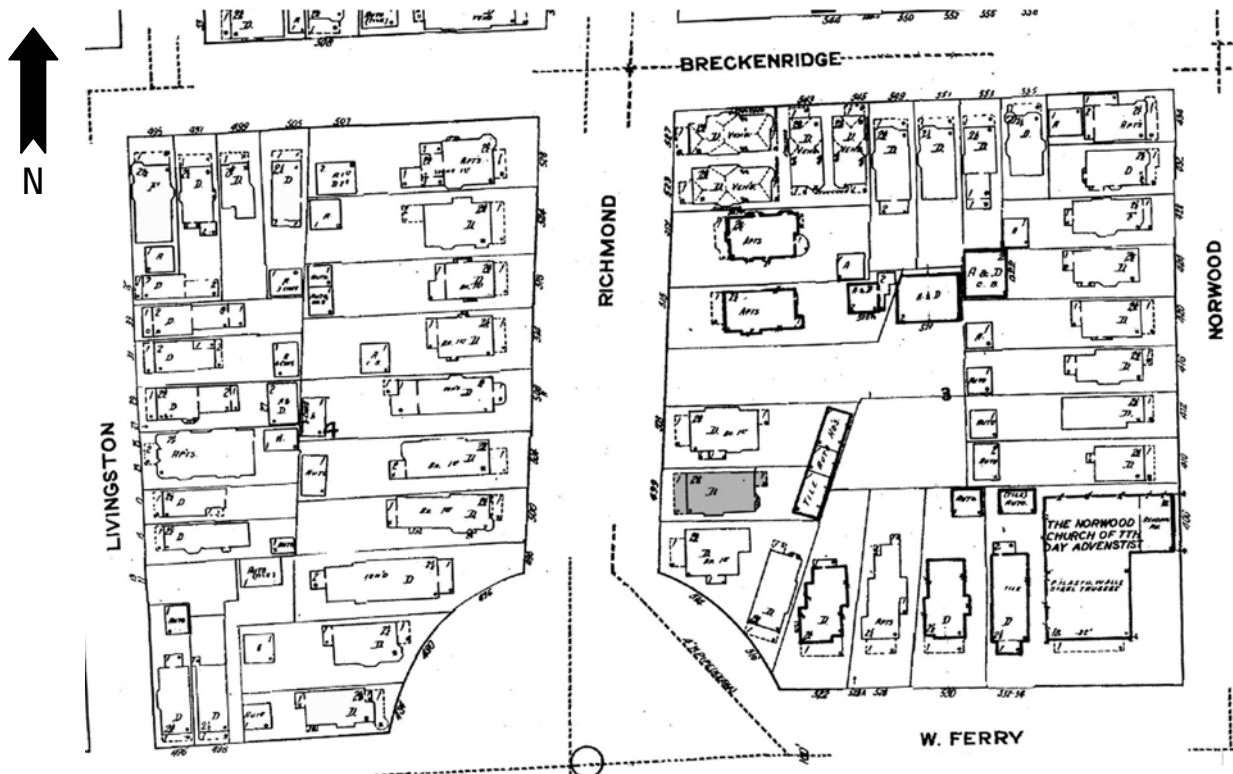
The house at 499 Richmond Avenue is set on a slightly trapezoidal lot, located on the east side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A moderate, two-story, hipped roof, urban, residence of Craftsman styling. It has a short, rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with thick elephantine column supports (brick lower, stucco upper), brick rail that extends to the foundation, stucco frieze space with flattened arch cutouts, a flared hipped pent overhang, and a small metal railed entry stair at the north corner. The main entrance is located in the north bay. A triple window group occupies the south bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the far north, and two single windows spaced unevenly on the remainder. A large gabled dormer sets high on the front roof slope, punctuated by a subtly recessed paired window with a small sidelighted surround. A similar dormer accented with two simple paired windows sets on the north roof slope. Additional roofed side entrance visible on the north elevation. Exterior wall fabric is stucco and stone facing on the lower story, wood clapboard upper with wood shingles. Fenestration is primarily one-over-one double-hung wood sash and fixed, occasional 3/1 lights and multi-paning. Tall brick chimney visible on the south roof slope; additional chimney at the ridge. Detailing includes extended open eaves, exposed rafter tails, modest belt course and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 499 Richmond Avenue is significant as a good representative example of a moderate, architect designed, two-story, hipped roof, urban, residence of Craftsman styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Modestly styled singles and doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side, though those of the earlier Queen Anne style are most predominant. Built for Margaret T. Chamberlin. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 500 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

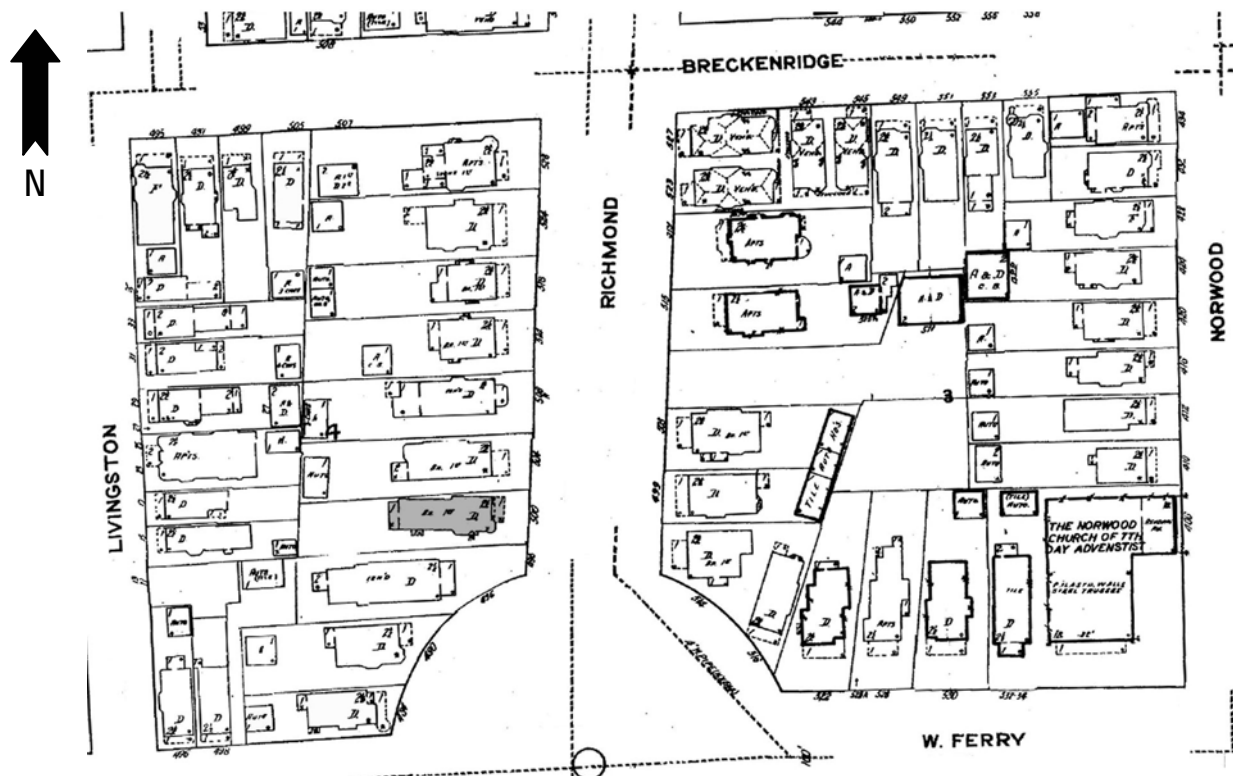
The single-family house at 500 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, brick and frame residence of Queen Anne styling. It has a roughly rectangular plan and is set on a stone foundation. The façade has a ¾-width shed roof porch set to the north, with paired ¾-height slender column supports set atop stone capped brick piers that extend down, solid brick and inset spindled wood rail, wide frieze space, and a slight extension with hipped roof at the north corner over the railed entry stair. The main entrance is located on the façade, under the porch. The far south bay dominated by a two-story polygonal bay with tiered windowing accents. The second floor façade has a small ½-width balcony porch with column supports, open wood rail, and wide frieze located in the in the north and contained beneath the projecting front gable end. The closed front gable end is punctuated by a unique Palladian- inspired recessed window group and further accented with decorative wood shingle. Large, open, projecting, side cross gable to the south with similarly arranged windowing and patterned shingle accent in a sunburst motif. Projecting gable end extends down flush at the second story; small bracketed balconette contained within it at the front corner, similar to the façade balcony. Lower story polygonal bay beneath the gabled projection on the south elevation. Small dormer and brick chimney visible on the south slope of the roof to the rear of the cross gable. Exterior wall fabric is brick on the lower story, wood shingle upper. Fenestration is primarily one-over-one double-hung wood sash and fixed; sills and keystone-styled accent on the first story. Additional detailing includes simple belt course, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 500 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, brick and frame residence of Queen Anne styling. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-27)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 503 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Stephen R. Berry Date of construction, if known 1914

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

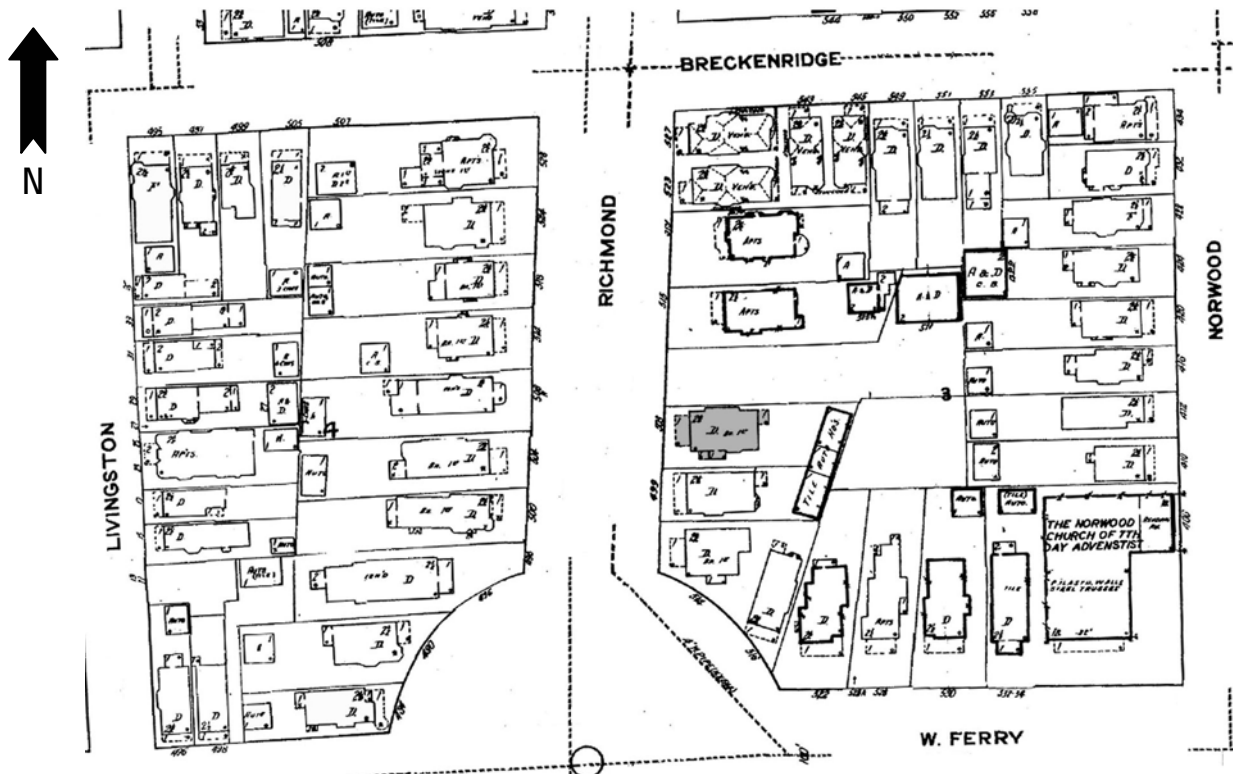
The single-family house at 503 Richmond Avenue is set on a slightly irregular lot, located on the east side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban, residence of Craftsman influenced Prairie styling. It has a short, roughly rectangular plan. The façade has a 2/3-width hipped roof porch in the north, with subtly ornamented square brick columns, similar capped brick rail that extends to the foundation, and simple frieze with extended eaves. A porch entrance sets centered on the façade, beneath the porch. A single window sets in either far side bay. The second floor façade has a paired window in the north bay and a triple window in the south. The main entrance is located in a large flat roofed vestibule-like projection on the south elevation; entrance faces the street, reached by a railed entry stair. An open porch with metal rail and awning supports sets over the entrance vestibule. A hipped roof dormer with triple window accent sets high on the front roof slope. A similar dormer sets on the south roof slope. Tall brick chimney visible on the south roof slope to the front of the dormer. Exterior wall fabric is brick on the lower story, stucco upper with wood shingles on the dormers. Fenestration is one-over-one, six-over-one, and eight-over-one double-hung wood sash and fixed. Detailing includes extended open eaves, exposed rafter tails, modest belt course and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 503 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, residence of Craftsman influenced Prairie styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Modestly styled singles and doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side, though those of the earlier Queen Anne style are most predominant. Built for Margaret T. Chamberlin. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-15)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 504 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known S.O. Tunnell Date of construction, if known 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: second-story porch Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 504 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

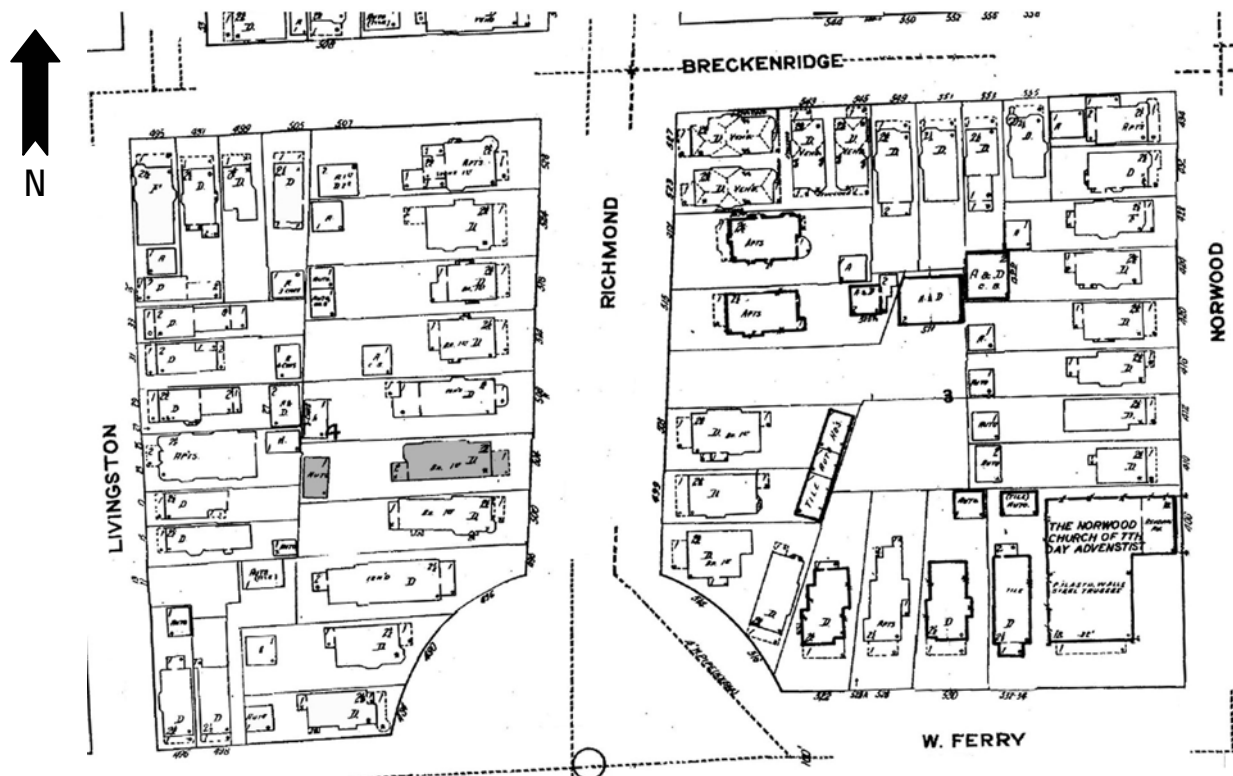
A two-story, hipped roof, urban, brick and frame residence of modest Craftsman influenced styling. It has a rough rectangular plan. The façade has a 3/4-width flat roofed porch set to the south, with square brick columns, capped brick rail that extends to the foundation, wide ornamented frieze, and a supported lower flat roofed extension over an entry stair on the north side. The main entrance is located off center to the north on the façade, under the porch. A large window group occupies the south bay. The second floor façade is defined by simple single windowing set in an even patter; two in the south bay, one in the far north with a remaining porch entrance in place of the other. A hipped roof dormer with a quartet ribboned window group accent sets high on the front roof slope. A similar dormer sets to the rear on the south roof slope. Tall exterior brick chimney visible to the front on the south elevation; additional brick chimney on the south slope just the to the front of the dormer. Exterior wall fabric is brick on the lower story, wood clapboard and shingle upper. Fenestration is one-over-one, six-over-one, and eight-over-one double-hung wood sash and fixed. Detailing includes extended open eaves, exposed rafter tails, modest belt course and framing.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 504 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, brick and frame residence of modest Craftsman influenced styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Modestly styled singles and doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side, though those of the earlier Queen Anne style are most predominant. Built for Matthew Kellner. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-28)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 505 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

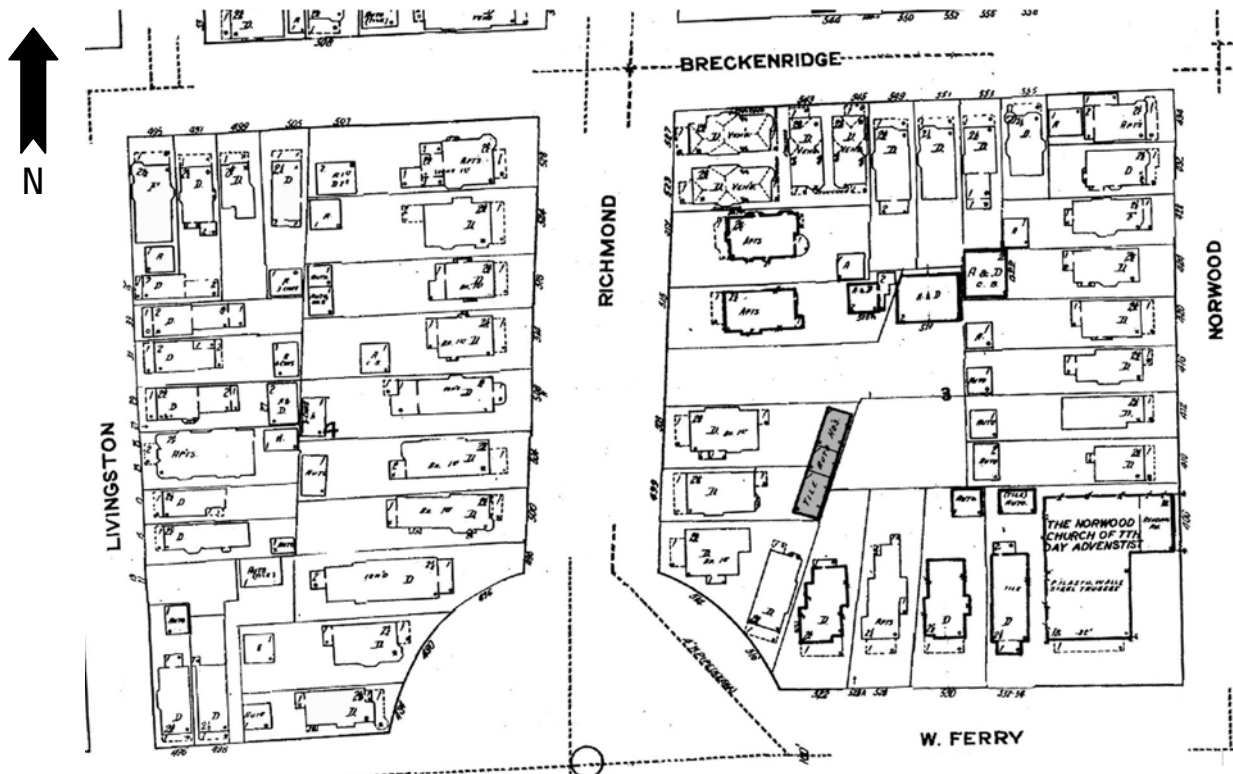
The building at 505 Richmond Avenue is set on a small back lot, located to the rear of the main lots on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A large, one-story, flat roofed, brick outbuilding. It has a regular rectangular plan. Styled as a garage with eight bays and separate doors; north four are distinct from the four to the south which have a windowed band. Associated with the residences at 499 and 503 Richmond Avenue.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 505 Richmond Avenue is significant as a good representative example of a remaining historic outbuilding. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-39; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 508 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Eli W. Goldstein Date of construction, if known 1916

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 508 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

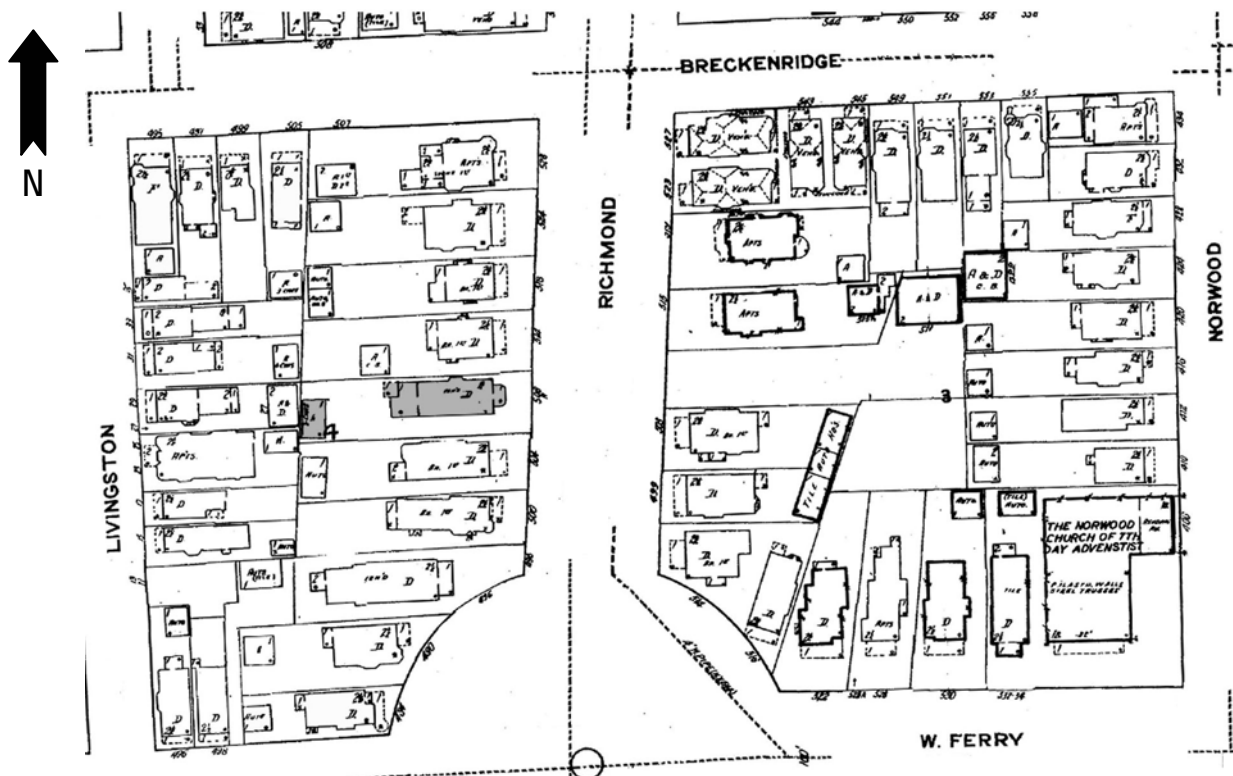
A one-and-one-half story, front gabled, urban, brick residence of modest Gothic Revival influenced styling. It has a rough rectangular plan and is set on a high stone foundation. The façade is defined by a central 1/2-width flat roofed polygonal bay; central face dominated by a simple window group with large windowed surround, single windowing with transoms on the remaining faces. A single window with fanlight accent and keystone arched framing sets in the far side bays of the lower façade. The main entrance is located on the south elevation. Gable end open with slight end returns. The upper façade is defined by a Palladian-styled window group with central porch entrance and a simple lattice railed open porch. A two-story, flat roofed, polygonal bay sets to the front on the north elevation, extending up through the roofline. Two brick chimneys visible at the ridge. Exterior wall fabric is brick. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional multi-paning and detail; noted sills and lintels. Additional detailing includes modest trim and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 508 Richmond Avenue is significant as a good representative example of a one-and-one-half story, front gabled, urban, brick residence of modest Gothic Revival influenced styling. Uncommon Gothic styling, seen infrequently in this neighborhood in which later urban singles and doubles of Queen Anne style abound. Built for Louis Maisel. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-29)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 511 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: second-story porch Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

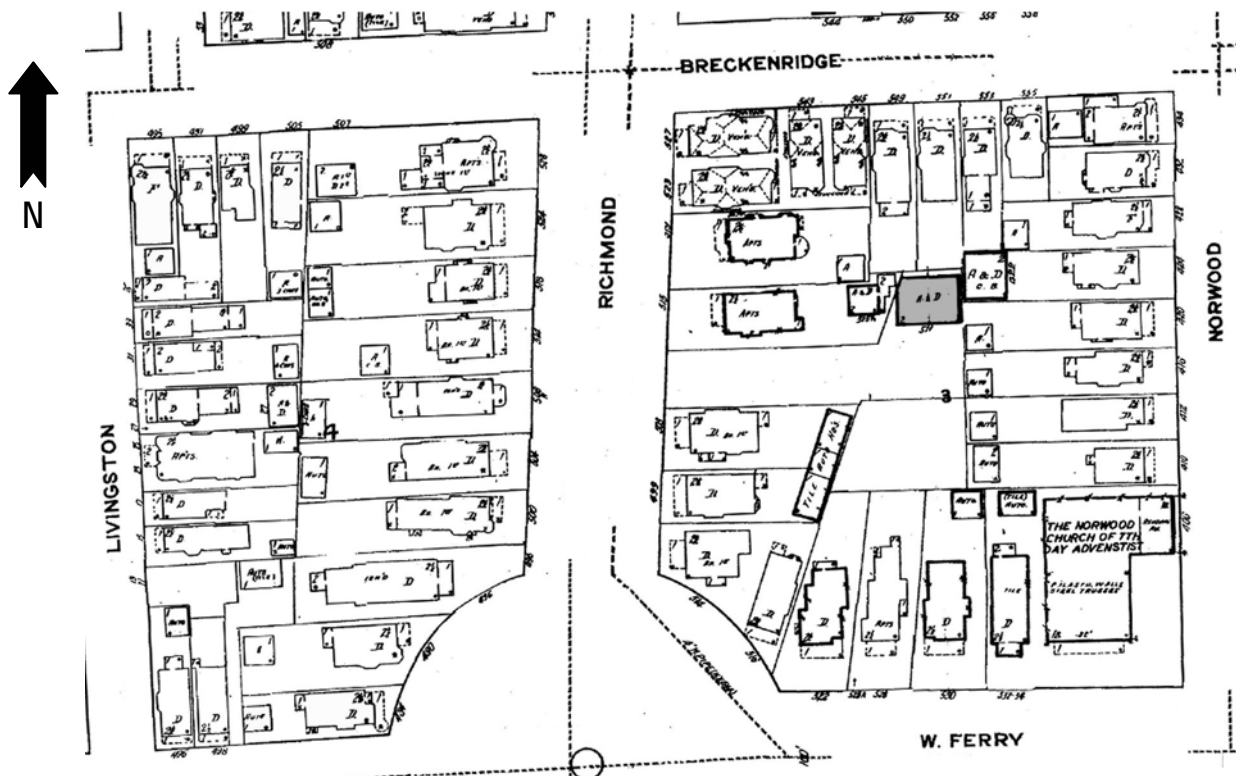
The single family house at 511 Richmond Avenue is set on a large trapezoidal back lot, located on the east side of the street to the rear of the main lots on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A converted, two-story, flat roofed, back house of mixed styling and varying additions. It has a regular short rectangular plan. The façade faces south and is defined by a 3/4-width, second-story, shed roof porch set to the west. Lower façade beneath the added upper story porch has two single windows in slight arched openings with shuttering in the west bay and a garage door off center to the east. The main entrance is located in the far east bay, free of the porch and roofed by a small bracketed flat roof. West half of the second-story porch enclosed living space with a large quartet window group on the façade, east portion open with metal rail and supports. Windowing on the side elevations is simple with slight arched openings. Brick chimney visible in the rear west corner. Exterior wall fabric is brick. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional multi-paning; noted sills and lintels.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 511 Richmond Avenue is significant as a good representative example of a converted, two-story, flat roofed, back house of mixed styling and varying additions. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-39; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 514 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Carl Schmill & Son Date of construction, if known 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 514 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

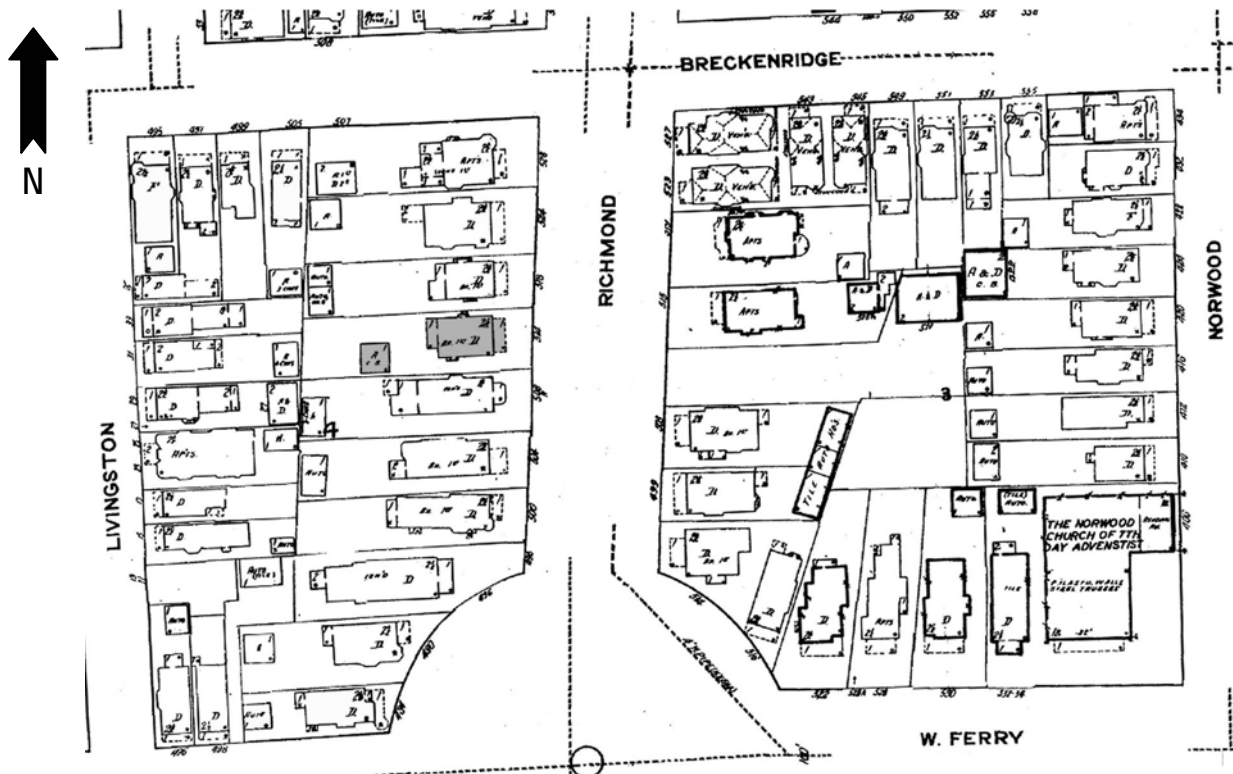
A two-story, hipped roof, urban, brick and frame residence of modest mixed influence, Craftsman, Prairie styling. It has a short, rough rectangular plan. The façade has a centered ¾-width flat roofed porch with fluted columns set atop a low brick rail that extends to the foundation, additional metal rail, wide ornamented entablature, parapet, and a small metal railed entry stair in the north. The modestly enframed and sidelighted main entrance is located in the north bay of the facade. A large single window occupies the south bay. The second floor façade is defined by simple single windows with shuttering set centrally in either side bay. A small hipped roof dormer with triple window group accent sets on the front roof slope. Tall exterior brick chimney visible to the front on the south elevation; small first-story bay visible further to the rear. Exterior wall fabric is brick on the lower story, stucco upper with shingles on the dormer. Fenestration is eight-over-one and one-over-one double-hung wood sash and fixed; 4/1 and 10/1 lights in the dormer. Detailing includes extended open eaves with exposed rafter tails, molded belt course and simple framing.

A garage sets in the south toward the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 514 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, brick and frame residence of modest mixed influence, Craftsman, Prairie styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries. Though those with heavy Queen Anne influence were most common on the West Side, this style is characteristic of early twentieth century residences, and indicative of its slightly later building date. Built for S. Jacobson. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-30)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 515 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Henry L. Span Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 515 Richmond Avenue is set on a large trapezoidal lot, located on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

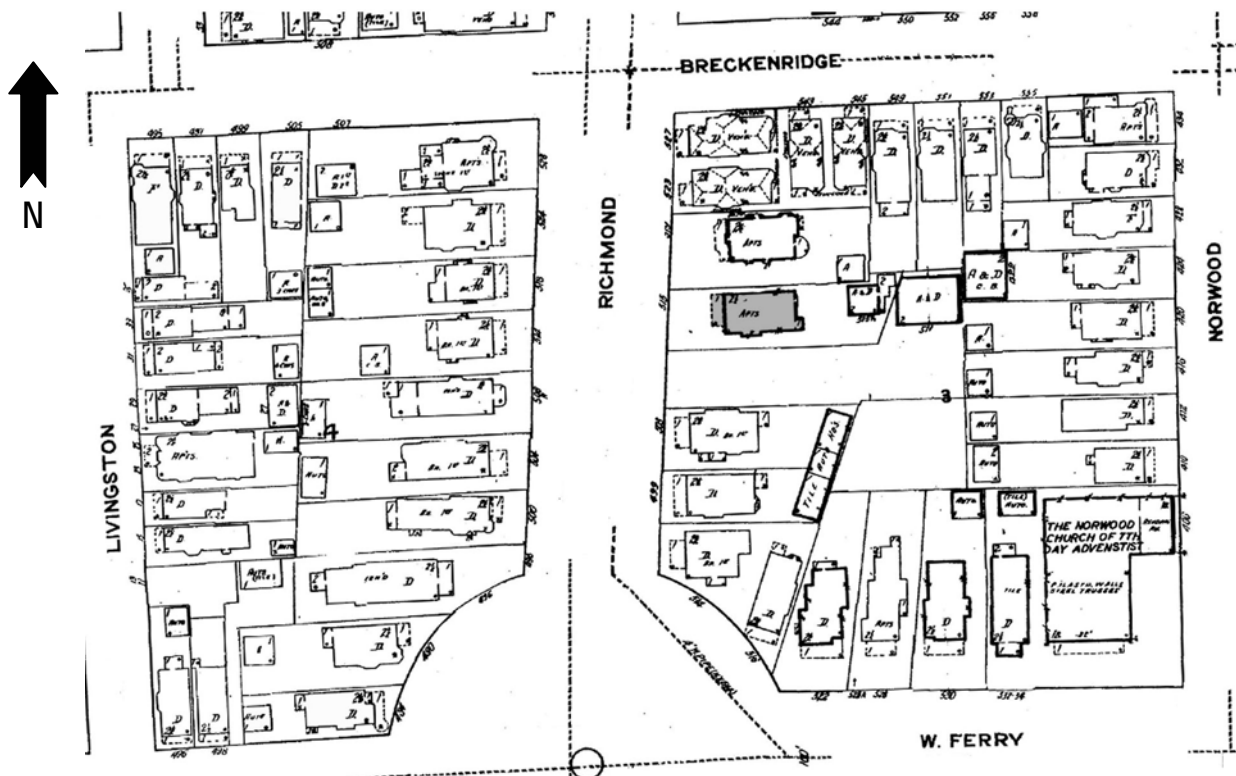
A two-story, flared hipped roof, urban, brick residence of mixed influence, Prairie styling. It has a short, rough rectangular plan. The façade has a ¾-width hipped roof porch to the north, with square columns, metal rail, wide ornamented frieze, and a small railed entry stair in the south. The modestly enframed and sidelighted main entrance is located off center to the south on the façade, under the porch. A large triple window group occupies the north bay. The second floor façade is defined by shallow rectangular oriels with paired window accent set in either side bay and a small central single window. A gabled dormer accented by a triple window group, verge boards, and rafter tails sets on the front roof slope. A similar dormer sets on the north roof slope. Tall exterior brick chimney visible to the front on the north elevation. Exterior wall fabric is brick, with stucco on the dormers. Fenestration is primarily one-over-one double-hung wood sash and fixed, with sills and lintels. Detailing includes extended eaves, moderate frieze and framing.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 515 Richmond Avenue is significant as a good representative example of a two-story, flared hipped roof, urban, brick residence of mixed influence, Prairie styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries. Though those with heavy Queen Anne influence were most common on the West Side, this style is characteristic of early twentieth century residences, and indicative of its slightly later building date. Built for E.T. Stevens. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 518 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use \_\_\_\_\_ Current use \_\_\_\_\_

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known \_\_\_\_\_

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 518 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

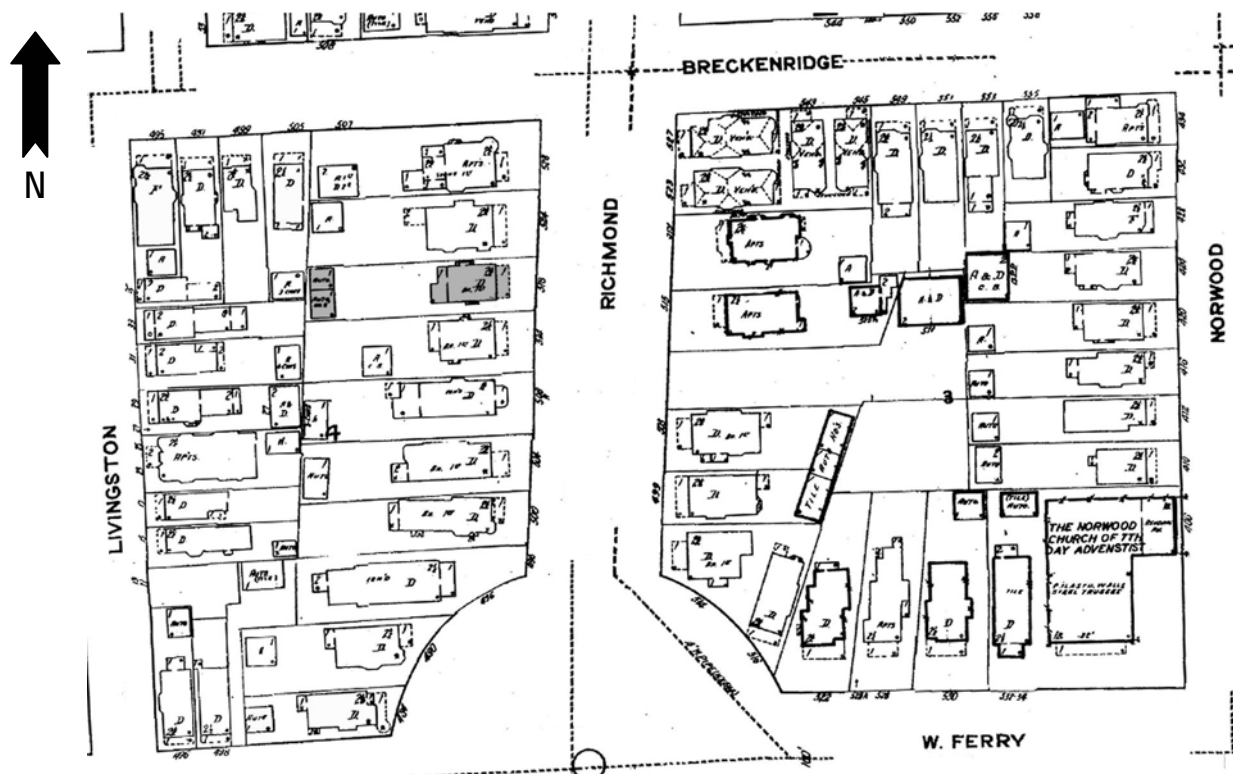
A two-story, hipped roof, urban, residence of foursquare design and Craftsman influenced, Prairie styling. It has a short, extended square plan. The façade has a centered 7/8-width hipped roof porch with ¾-height grouped square column supports set atop capped brick rail that extends down to the foundation, extended eaves, modest frieze, and a metal railed entry stair in the south. The modestly enframed and sidelighted main entrance is located in the south bay of the façade. A large triple window group occupies the north bay. The second floor façade is defined by paired windows set centered in either side bay. A hipped roof dormer accented by a triple window group sets high on the front roof slope. A similar dormer sets on the south roof slope. Flat roofed, rectangular, projecting oriel visible on the south elevation over an additional side entrance. Tall exterior brick chimney visible to the front on the north elevation. Short first-floor rear extension. Exterior wall fabric is brick on the lower story, with stucco on the upper story and on the dormers. Fenestration is double-hung wood sash with 1/1, 4/1, 6/1, and 8/1 lights and fixed. Detailing includes extended eaves, modest belt course and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 518 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, residence of foursquare design and Craftsman influenced, Prairie styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries. Though those with heavy Queen Anne influence were most common on the West Side, this style is characteristic of early twentieth century residences, and indicative of its slightly later building date. Built for M. Slotkin. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-31)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 519 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known John H. Coxhead Date of construction, if known 1901

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: windowing at the forward south corner Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 519 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

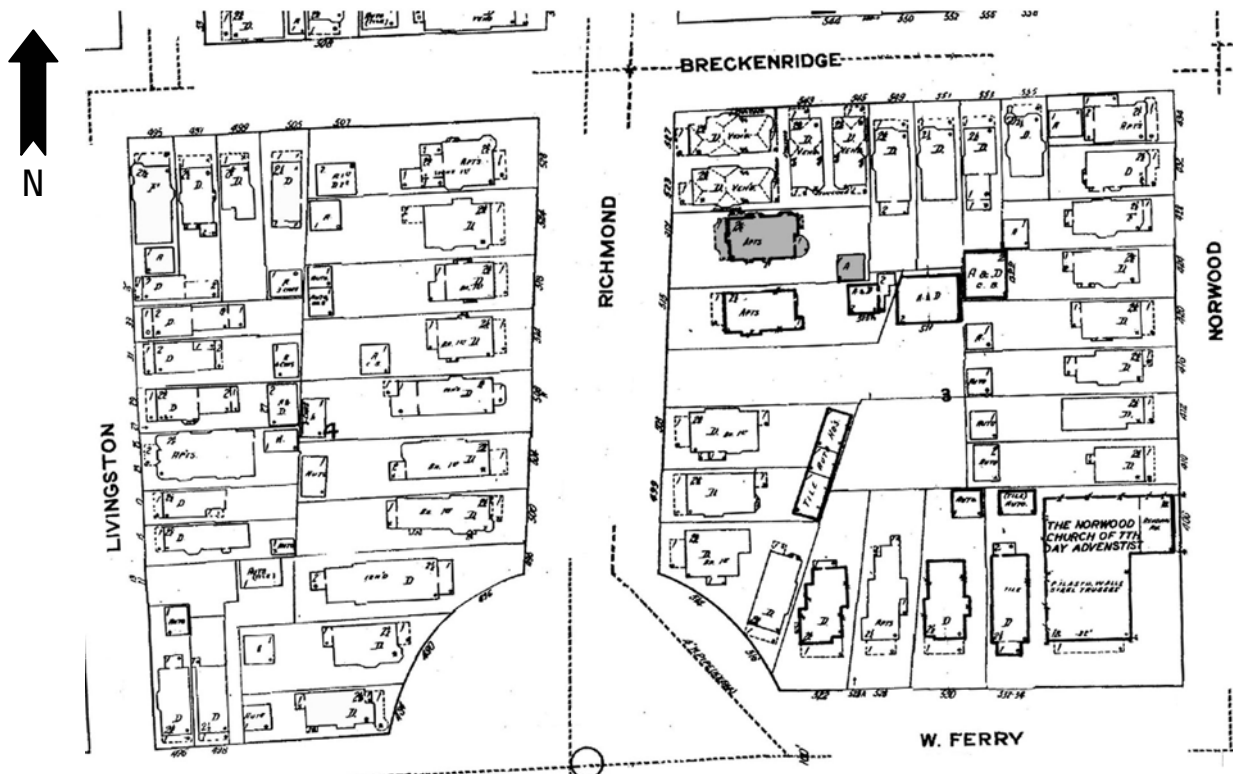
A two-story, hipped roof, urban, residence of foursquare influenced design and free classic Queen Anne styling. It has a rough squared plan and is set on a stone foundation. The façade has a full-width flat roofed porch with metal rail and supports, a rounded extension in the north and a railed entry stair in the south. The modestly enframed main entrance is located in the south bay of the façade. A paired window sets centrally on the façade; s single window sets in the north bay. The second floor façade is dominated by a centered, flat roofed, polygonal oriel with triple windowing. A single window sets in the north bay; windowing has been altered in the south bay to two small paired windows aligned over one another. A pedimented dormer accented by a Palladian style window group sets on the front roof slope. Two smaller pedimented dormers with single window accents set on the south roof slope. Multiple polygonal bays and oriels visible on the south elevation. Brick chimney visible near the ridge. Exterior wall fabric is brick, with wood clapboard on the projections and asphalt shingle on the dormers. Fenestration is primarily one-over-one double-hung wood sash and fixed. Detailing includes notable corner pilasters, large entablature with extensive cornice molding, elaborate trim and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 519 Richmond Avenue is significant as a good representative example of an architect designed, two-story, hipped roof, urban, residence of foursquare influenced design and free classic Queen Anne styling. Moderate Queen Anne residences of varied styling and influences were common housing for middle and upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for Carrie C. Smith. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 523 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known James Walker Date of construction, if known 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and half-timbering

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

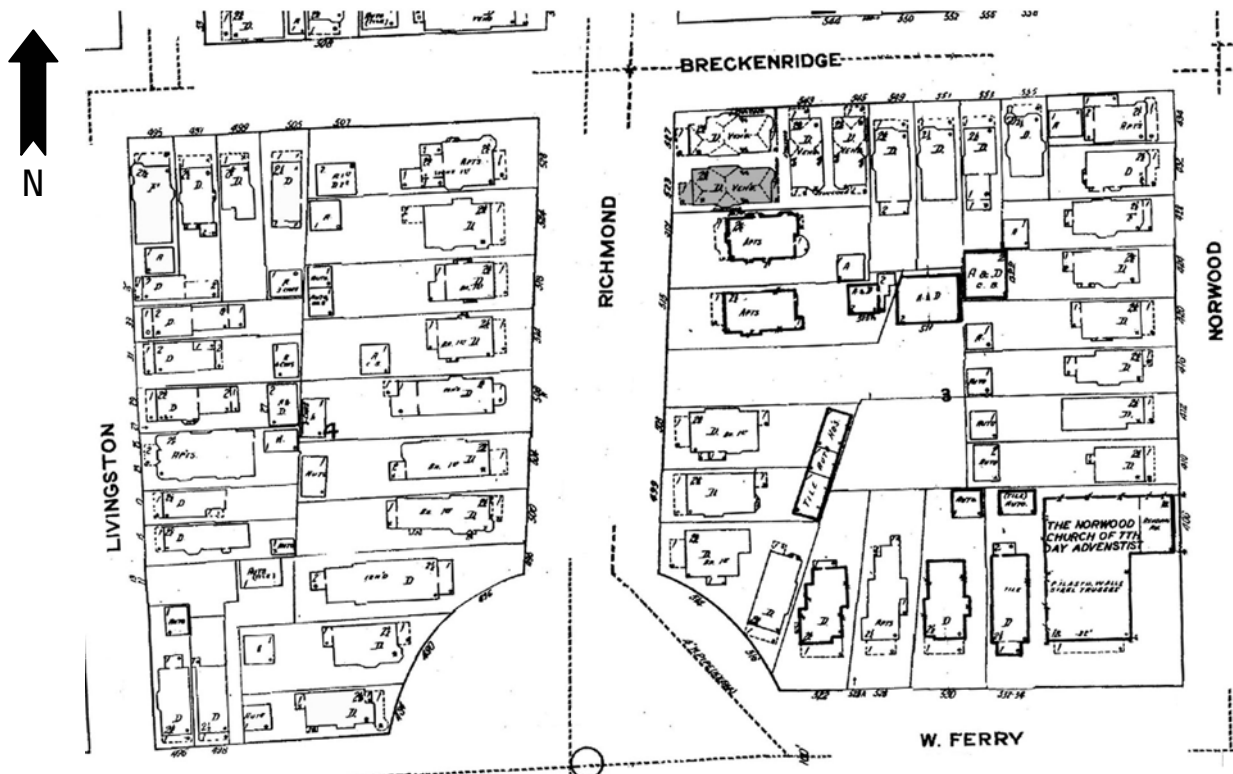
The single-family house at 523 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross clipped gabled, urban, brick residence of vernacular, mixed period style. It has a rough rectangular plan. The main entrance is located on the north elevation. The façade has a full-width enclosed living porch with capped brick base, continuous windowed upper, wide entablature and extended eaves. The second floor façade has an open porch with metal rail and awning supports and a central porch entrance with French doors; recessed niche in the far north. The stucco and half-timbered front gable end is punctuated by a modest polygonal oriel roofed by the clipped gable peak; the wide pent which closes the gable end continues flowing into the extended eaves of the main roofline. Clipped cross gable on the south slope, gable end closed with similar wide pent and accented by a paired window. A two-story polygonal bay extends down the south elevation, beneath the cross gable. Brick chimney visible at the ridge. Exterior wall fabric is brick, with wood clapboard on the projections and in the side gable; stucco and half-timbering in the front gable. Fenestration is primarily one-over-one double-hung wood sash and fixed, with leading; sills and lintels present.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 523 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross clipped gabled, urban, brick residence of vernacular, mixed period style. Modestly styled urban singles and doubles of the prevailing trends, such as this, were common housing for families in the early twentieth century on the West Side, though those with heavy Queen Anne influence were most predominant. Built for Homer J. Carpenter. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-18)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 524 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Colson & Hudson Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 524 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

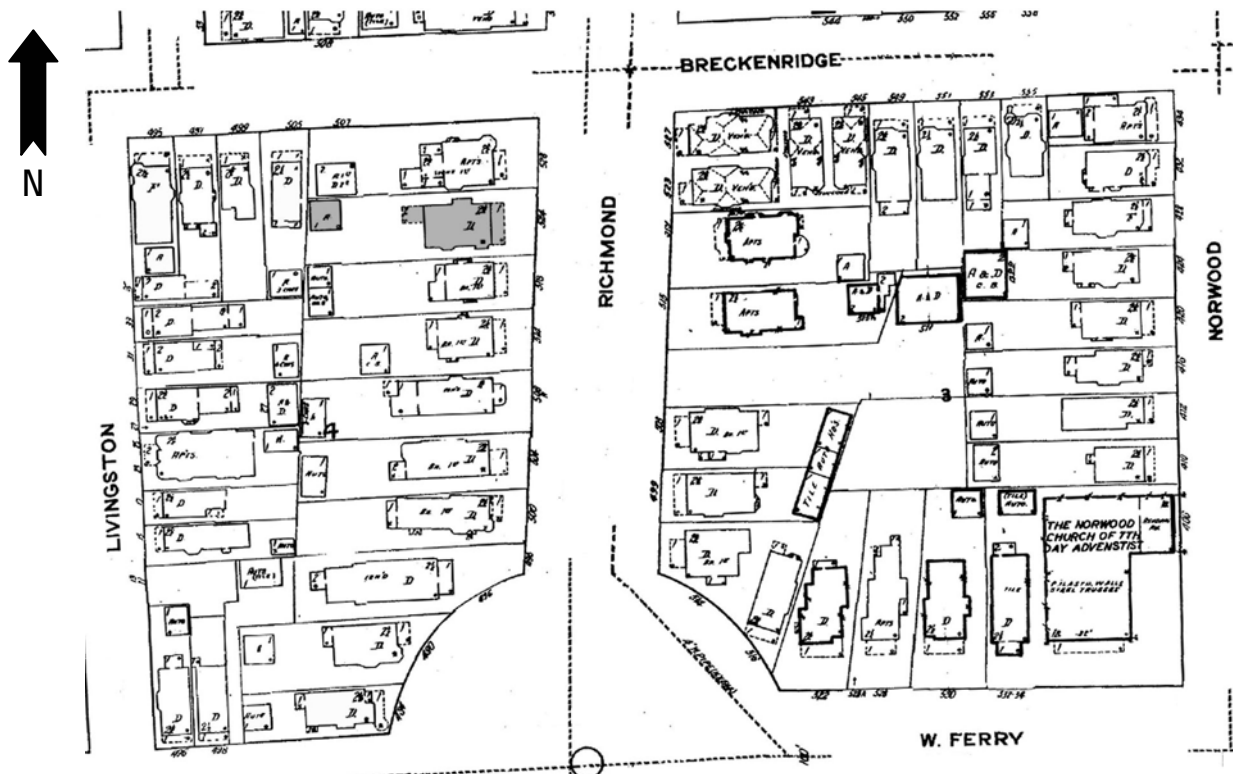
A two-and-one-half story, front gabled, urban, frame residence of Queen Anne styling. It has a roughly rectangular plan and is set on a stone foundation. The façade has a full-width flat roofed porch with  $\frac{3}{4}$ -height grouped slender square shingle covered column supports set atop a shingled covered rail, wide frieze, and a metal railed entry stair in the north. The main entrance is located in the far north bay of the façade. Immediately to the south of the entrance sets a shallow polygonal bay. Two single windows occupy the south bay. The second floor façade is defined by paired windows set centrally in either side bay and a small center window. The closed front gable end is punctuated by an enframed triple window group and accented with limited stick work; the wide pent which closes the gable end continues flowing into the extended eaves of the main roofline. Open projecting cross gable on the north slope with full-height rectangular bay extending down the north elevation. Several brick chimneys visible. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1, 4/1, 6/1 lights and fixed. Additional detailing includes moderate trim and framing, with bracketing in the gable ends.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 524 Richmond Avenue is significant as a good representative example of an architect designed, two-and-one-half story, front gabled, urban, frame residence of Queen Anne styling. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for M.M. Drake, Jr. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-32)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 527 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known James Walker Date of construction, if known 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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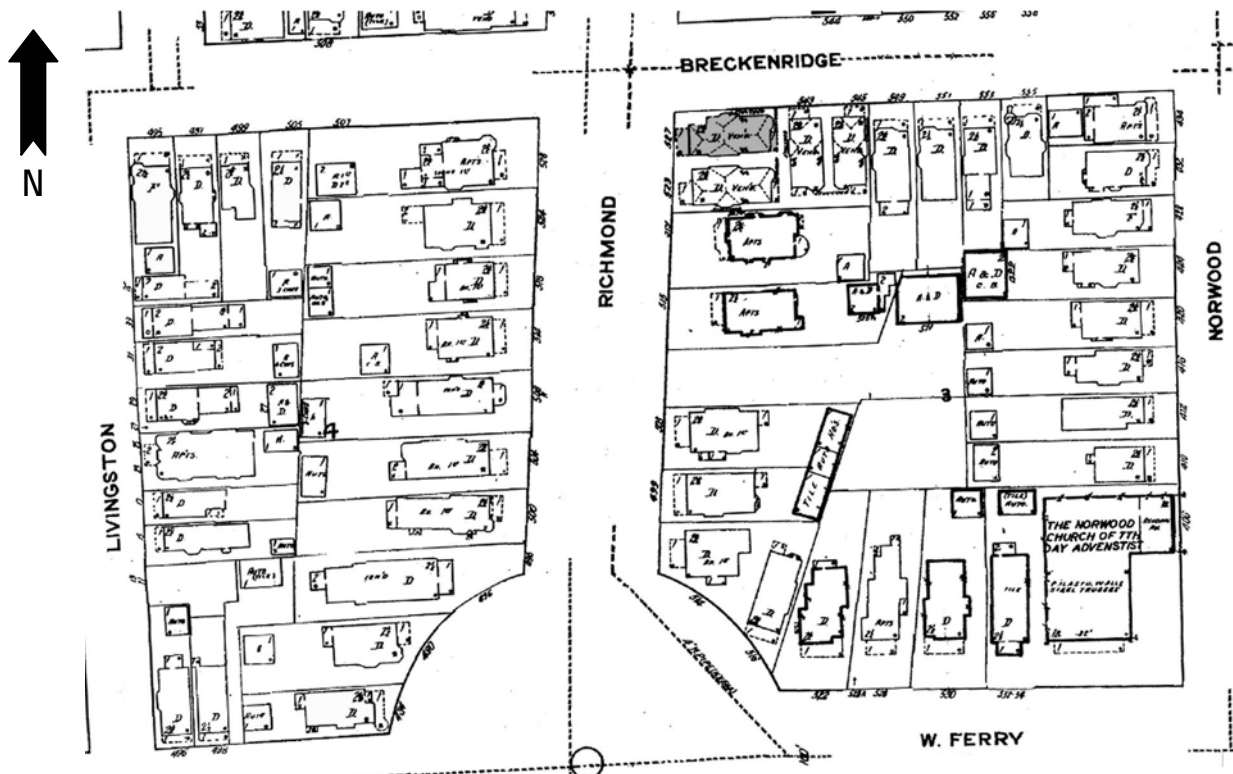
The single-family house at 527 Richmond Avenue is set on a shortened corner lot, located on the west side of the street, at the north end of the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban residence of mixed vernacular, Queen Anne styling. It has a rough rectangular plan. The main entrance is located on the south elevation. The façade has a full-width enclosed living porch accented with large fixed windows. The second floor façade has a open porch with open wood rail and a porch entrance with French doors in either side bay. The closed front gable end is punctuated by simple paired window; the wide pent which closes the gable end continues flowing into the extended eaves of the main roofline. Similar closed side cross gable on the north slope with full-height wide rectangular bay extending down the north elevation; shallow, two-story, stucco covered, polygonal projection extends from the rear portion of the bay. Several brick chimneys visible. Exterior wall fabric is brick with wood clapboard in the gable ends. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 527 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban residence of mixed vernacular, Queen Anne styling. Modestly styled urban singles and doubles of the prevailing trends were common housing for families in the early twentieth century on the West Side. Those with heavy Queen Anne influence were most predominant. Built for Homer J. Carpenter. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-19)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 528 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known A.L. Taylor ( builder) Date of construction, if known 1896

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family home at 528 Richmond Avenue is set on a standard corner lot, located on the west side of the street, at the north end of the block between Breckenridge Street and West Ferry Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

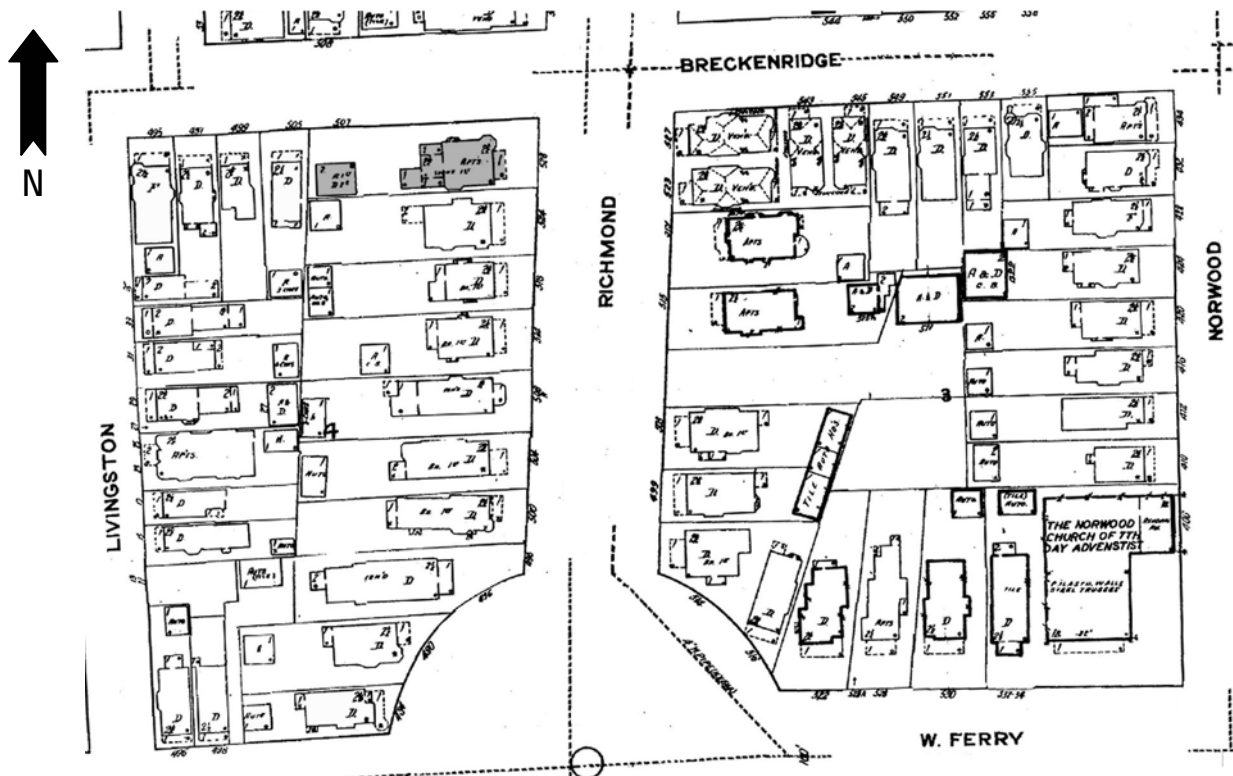
**NON-CONTRIBUTING**

A two-and-one-half story, hipped roof, urban, stone and frame residence of Queen Anne style with notable side tower.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 528 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-33)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) Pilgrim Congregational Church / New Hope Baptist Church

Address or Street Location 531 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Religious Current use Religious

Architect/Builder, if known Lansing, Bley, & Lyman Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: spires removed Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

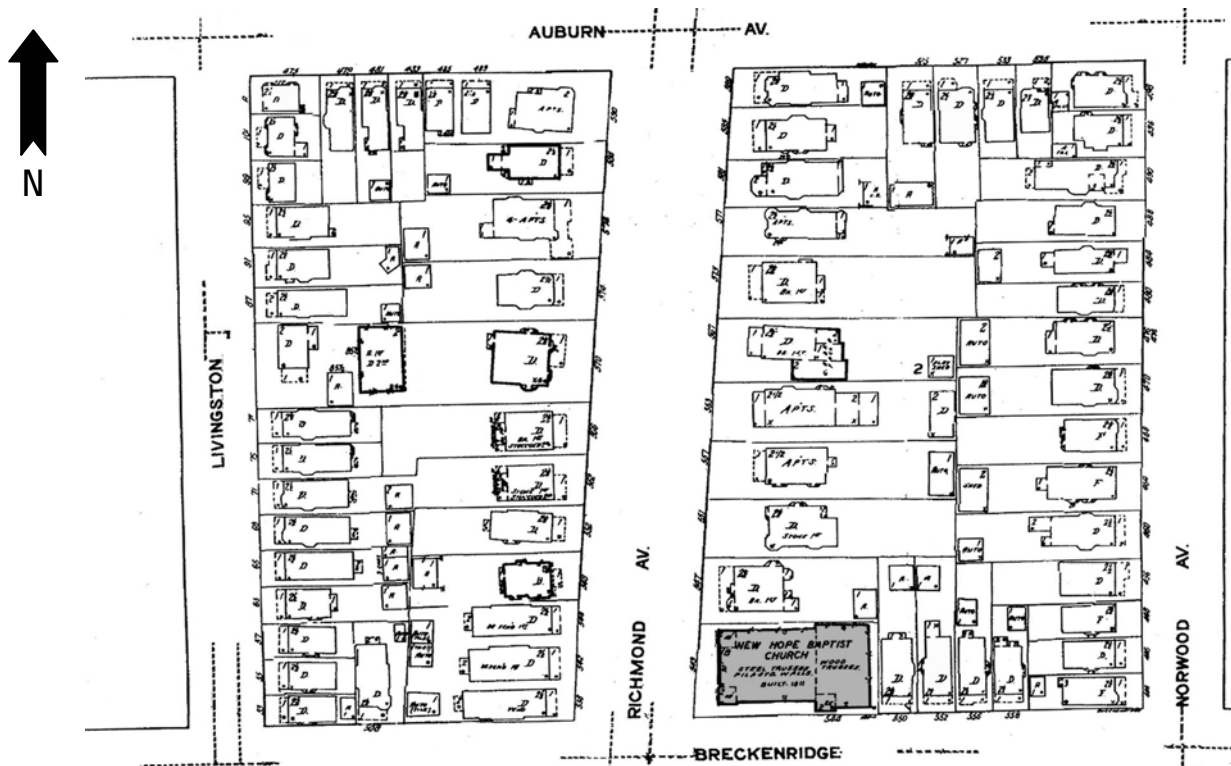
The building at 531 Richmond Avenue is set on a wide slightly shortened corner lot, located on the east side of the street, at the south end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A multiple storied, brick constructed, styled, modest Romanesque ecclesiastical building. It has a T-shaped plan shortened and is set on a high stone foundation. Main block is front gabled with symmetric, squared flat roofed towers with thick corner pilasters at either forward corner. T-ed section at rear is side gabled with similar towers set to the front, in the niche where it connects to the main block. A large pointed arch triptych window opening composed of multiple stained glass window groupings dominates the façade, centered beneath the main gable. The main entrance is located centrally on the façade, included in the lower portion of the window, and reached by stone entry platform with forward wall section and side stairs. A pointed arch composite stained glass window sets in either side tower structure. Additional entrances on the south side of the forward and rear towers; forward entrance like the main entrance located within a continuation of an above composite stained glass window. Even pointed arch, composite stained glass windowing on the elevations spaced by buttressing. Regular single windowing on the rear towers.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 531 Richmond Avenue is significant as a good representative example of a multiple storied, brick constructed, styled, modest Romanesque ecclesiastical building. Built as the Pilgrim Congregational Church. The congregation was founded in 1886 as a mission of the downtown First Congregational Church; in 1928, the two merged to become the First Pilgrim Congregational Church. The Congregationalists left in 1968, and the building is now occupied by another denomination. Spires and pinnacles originally surmounted the roofline, but these have been removed.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-20)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 538 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George J. Dietel Date of construction, if known 1919

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and rock aggregate

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☒ brick ☒ poured concrete ☐ concrete block

Other materials and their location: roof tiling

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☒ excellent ☐ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 528 Richmond Avenue is set on a short standard corner lot, located on the west side of the street, at the south end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

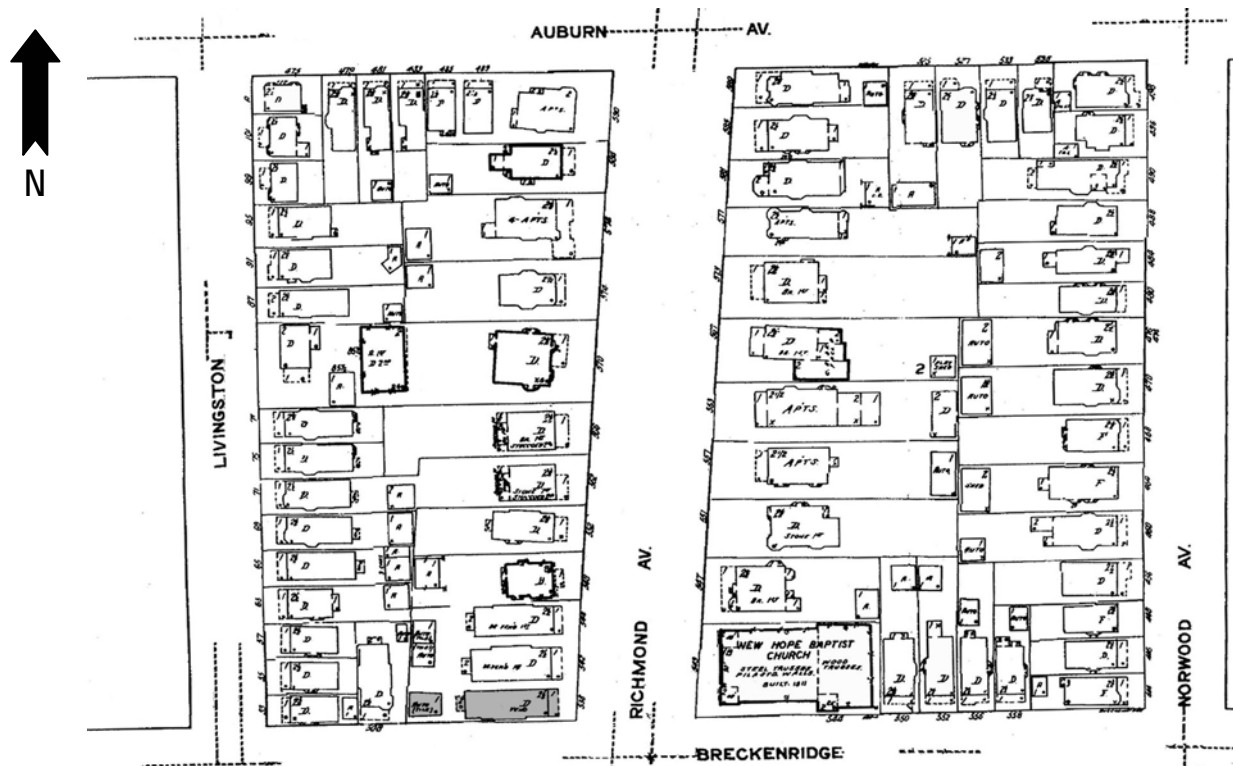
A two-story, flared hipped roof, urban, brick residence of influenced Craftsman styling. It has a rectangular plan. The façade has a full-width porch with metal rail and supports, modest frieze space, and a railed entry stair in the south. The main entrance is located in the south bay of the façade. A large single window sets in the north bay. The second floor façade has an open porch with metal rail, a central porch entrance with French doors, and single windows set in either side bay. A flared hipped roof dormer with a triple window group accent sets high on the front roof slope. Two gabled dormers with verge boards, framing, and windowing accents set spaced on the south roof slope, interrupting and continuing through the roofline. Additional side entrance visible to the front on the south elevation; multiple-story polygonal oriel visible further to the rear. Tall brick chimney visible on the north slope. Small one-story rear extension. Exterior wall fabric is brick with stucco and rock aggregate on the dormers. Fenestration is double-hung wood sash with 1/1, 4/1, 6/1, 6/6, and 8/1 lights and fixed; sills and lintels present. Additional detailing includes extended eaves with exposed rafter tails.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 538 Richmond Avenue is significant as a unique representative example of an architect designed, two-story, hipped roof, urban, brick residence of influenced Craftsman styling, with notable roof tiling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Though such dwellings were typical housing for families in the early twentieth century on the West Side, those of the earlier Queen Anne style are most predominant. Built for Morris Postmanteur. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-34)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 542 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George J. Dietel Date of construction, if known 1919

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and rock aggregate

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

## PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 542 Richmond Avenue is set on a short standard lot, located on the west side of the street, at the east end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

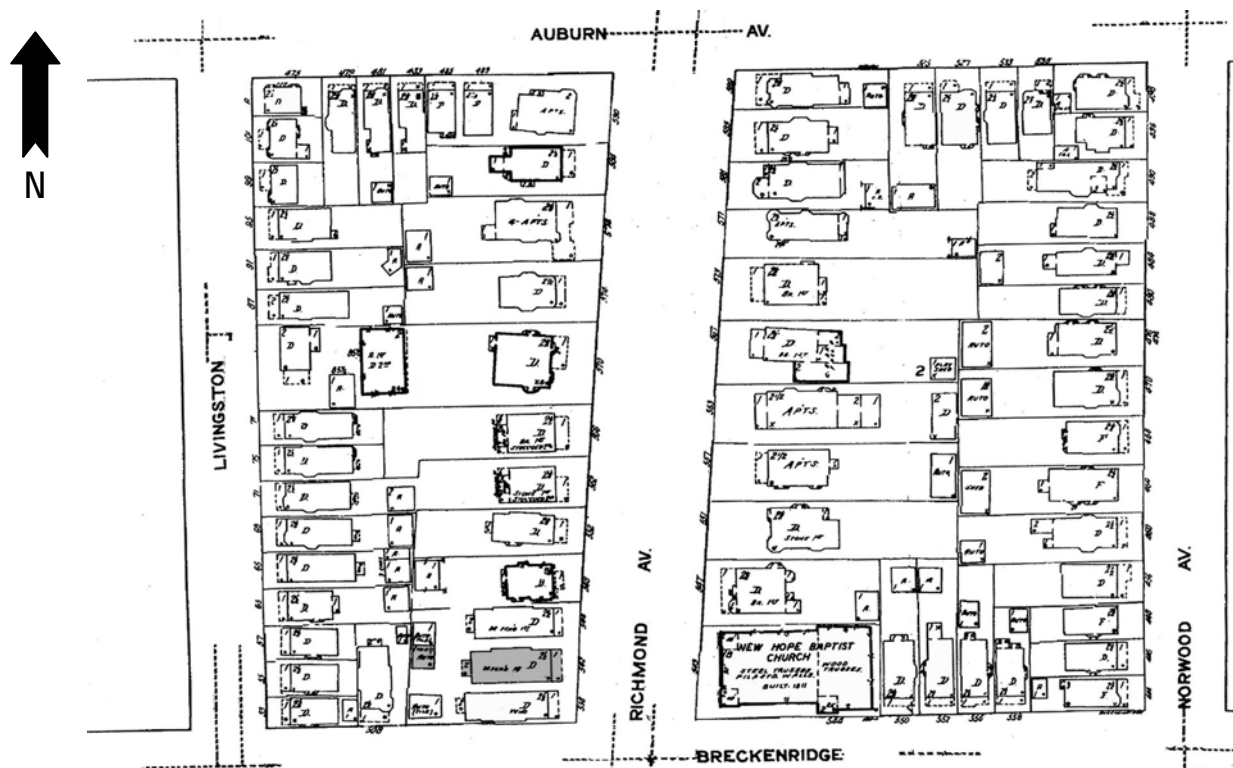
A two-story, hipped roof, urban, residence of modest mixed period styling. It has a rectangular plan and is set on a stone foundation. The roofed main entrance is located to the front on the north elevation. The façade has a full-width enclosed living porch with brick base, windowed upper topped by transoms, a modest frieze space, and ½-height slender pilasters grouped at the corners spacing flattened arch cutouts with leaded insets. The second floor façade has an open porch with metal rail and similar rectangular oriels in either side bay; porch entrance in place of the central window in the south oriel. A shed roof dormer punctuated by a small triple window group, sets high on the front roof slope. A similar dormer sets to the rear on the north roof slope. Tall exterior brick chimney visible at the forward corner on the north elevation; additional chimney further to the rear on the north slope. Exterior wall fabric is brick on the lower story, with stucco and rock aggregate upper, and wood clapboard on the dormers. Fenestration is primarily one-over-one double-hung wood sash and fixed, with leading. Additional detailing includes extended eaves, modest belt course and framing.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 542 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, residence of modest mixed period styling. Modestly styled urban singles and doubles of the prevailing trends, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side, though those of Queen Anne style were most predominant. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Built for Morris Postmanteur. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-35)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 546 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George J. Dietel Date of construction, if known 1919

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 546 Richmond Avenue is set on a short standard lot, located on the west side of the street, at the east end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

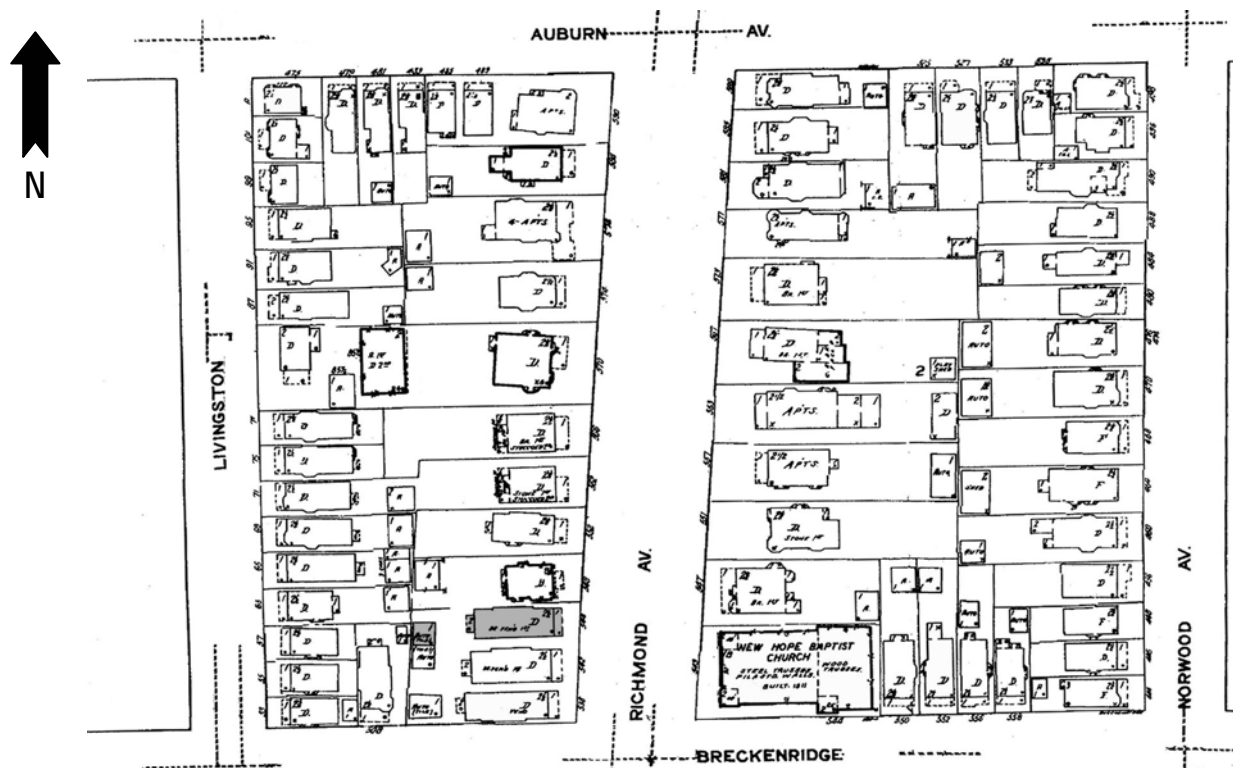
A two-story, hipped roof, urban, brick residence of modest mixed period styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with elaborately designed metal rail and supports and a central railed entry stair. Main entrances are located centrally in either side bay of the façade. The second floor façade has an open porch with metal rail, central porch entrance with French doors, and a single window set in either side bay. A flared hipped roof dormer punctuated by a ribboned triple window group, sets high on the front roof slope. A similar dormer sets to the rear on the south roof slope. Additional side entrance with bracketed roof on the south elevation. Subtle projection on the south elevation. Tall exterior brick chimney visible to the front on the north elevation. Exterior wall fabric is brick with wood clapboard on the dormers. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional leading. Additional detailing includes extended eaves, simple frieze, banded belt course, and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 546 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, brick residence of modest mixed period styling. Modestly styled urban singles and doubles of the prevailing trends, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side, though those of Queen Anne style were most predominant. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Built for Morris Postmanteur. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-36)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 548 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Wood & Bradney Date of construction, if known 1913

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 548 Richmond Avenue is set on a short standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

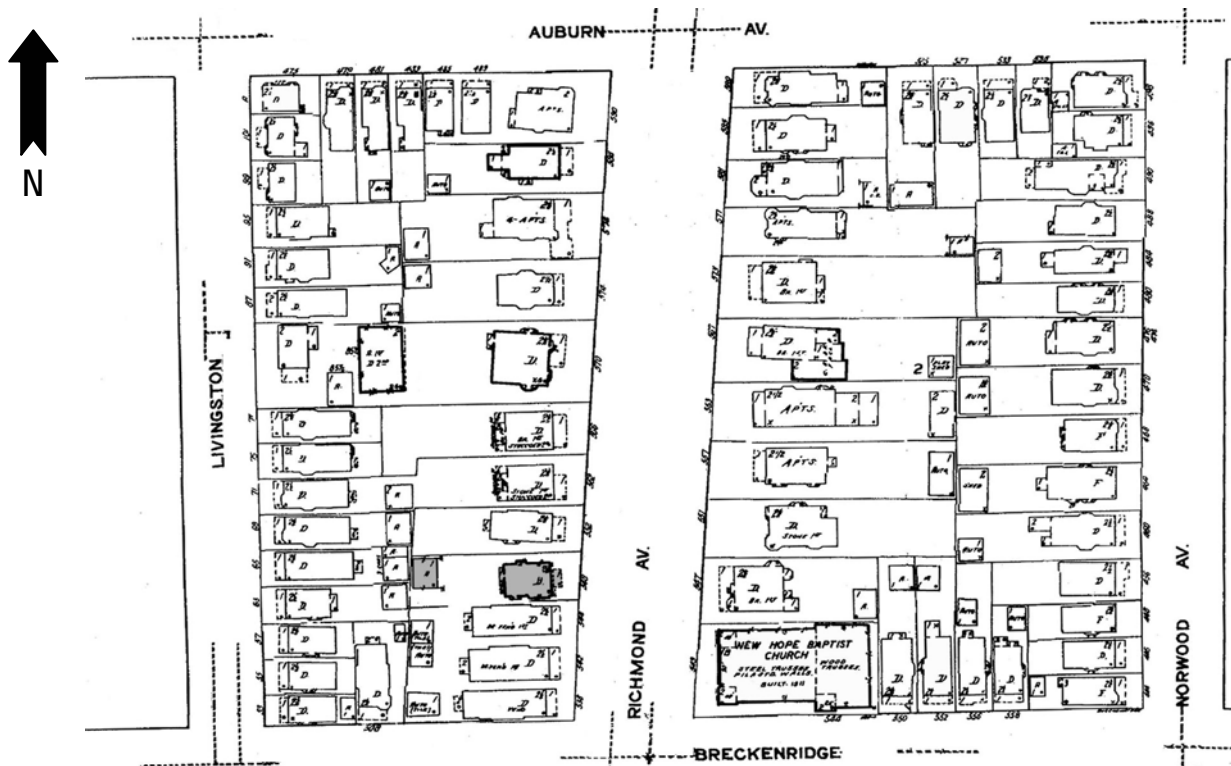
A two-and-one-half story, side gabled, urban, brick residence of moderate Colonial Revival style. It has a short rectangular plan. The façade has a centered, half-width, open gabled porch with  $\frac{3}{4}$ -height column supports set atop capped brick front rail, metal rail at the sides, wide frieze space, and a central railed entry stair. The enframed main entrance is located to the north on the façade, under the porch. A single window sets to the south, under the porch. Additional single windows set in either far side bay of the lower façade. The second floor façade is defined by simple symmetric single windowing. Two small gabled dormers with single window accents set on the front roof slope. Exterior brick chimney visible to the rear on the north elevation; second chimney at the ridge in the south. Exterior wall fabric is brick with shingle on the dormers. Fenestration is primarily six-over-one and one-over-one double-hung wood sash and fixed, with sills and lintels. Additional detailing includes modest frieze and trim.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 548 Richmond Avenue is significant as a good representative example of an architect designed, two-and-one-half story, side gabled, urban, brick residence of moderate Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Julius Boasberg. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-37)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 551 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known William L. Schmolle Date of construction, if known 1897-1898

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☒ excellent ☐ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

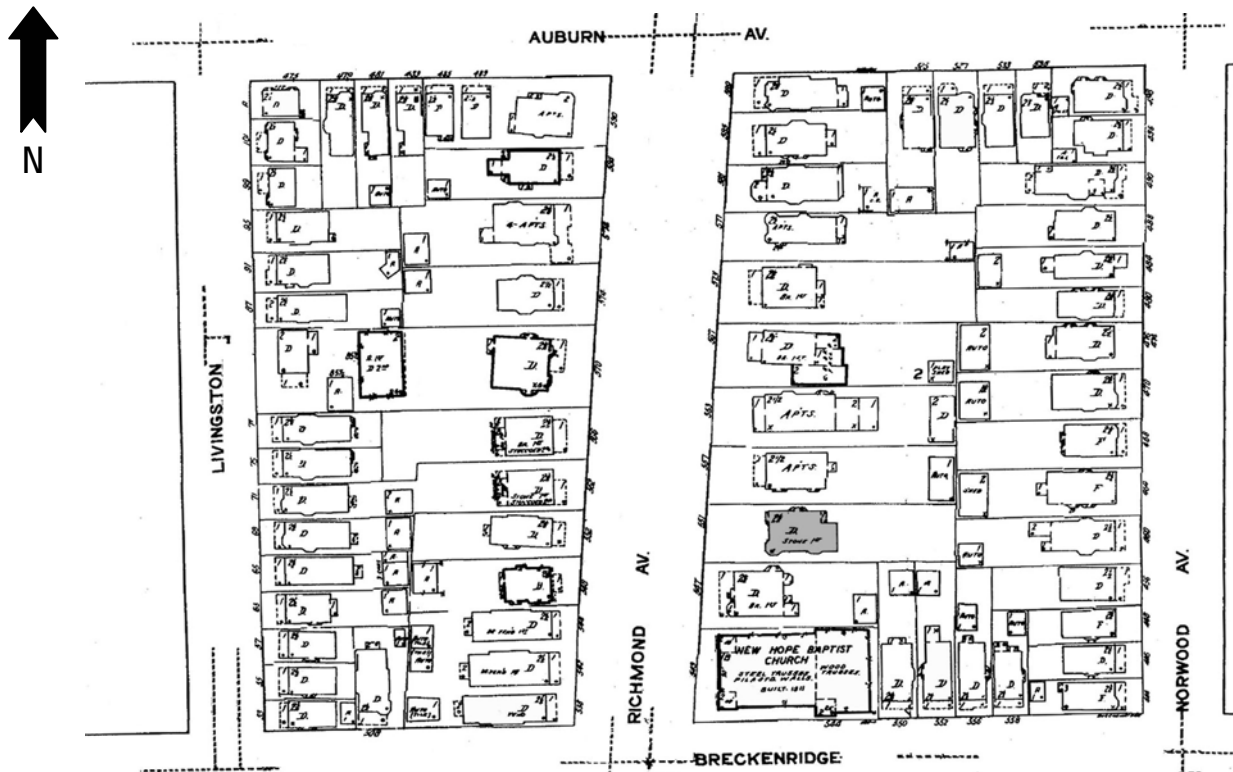
The single-family house at 551 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, stone and frame, Queen Anne residence. It has a short, roughly rectangular plan and is set on stone foundation. The main entrance is located on the façade off center to the south, roofed and reached by a small entry stair. A triple window group sets in the north. The south bay is dominated and defined by an engaged, two-and-one-half story, polygonal tower; unique roofline and notable paired arched ribbon windowing on the upper story. The second floor façade has a polygonal oriel in the north bay and a simple single window off center to the south aligned over the main entrance. The large pent enclosed gable end is accented by a slightly projecting quartet arched window group with patterned shingling; peak closed and raised. A gabled dormer with paired window accent sets on the north roof slope. Roofed, first-story, polygonal bay visible on the north elevation. Exterior wall fabric is stone on the lower story, with wood clapboard and shingle upper. Fenestration is primarily one-over-one double-hung wood sash and fixed. Detailing includes moderate, belt course, frieze and cornice, brackets, lookouts, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 551 Richmond Avenue is significant as an excellent representative example of a two-and-one-half story, front gabled, urban, stone and frame, Queen Anne residence. Queen Anne residences of varied styling and influences were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for Miss C.A. Jones. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-22)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 552 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco and rock aggregate

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: roof tiling

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

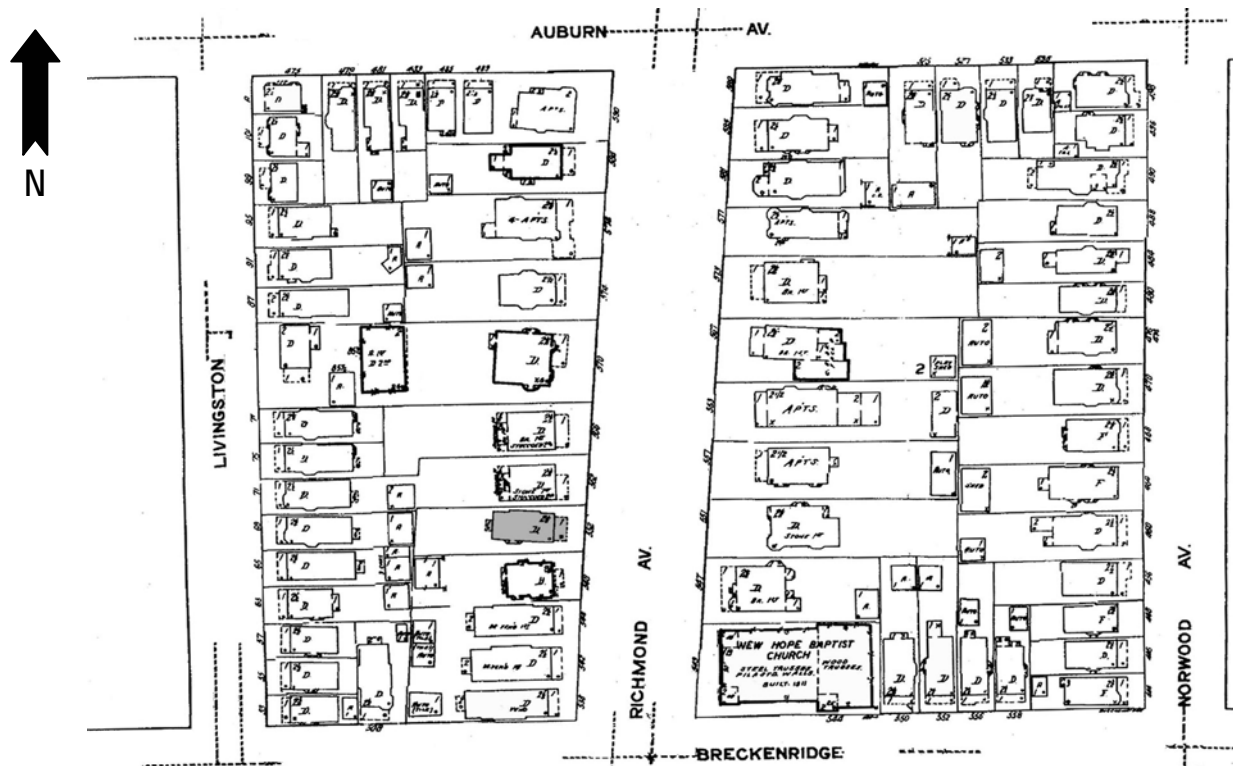
The single-family house at 552 Richmond Avenue is set on a short standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban, brick residence of influenced Craftsman, Prairie styling, with notable roof tiling. It has a rough rectangular plan. The main entrance is located on the north elevation within a recessed niche and reached by a stair. The façade has a full-width enclosed living porch with large continuous window groupings. The second floor façade has an open porch with metal rail and supports, a central porch entrance, and triple window groups set in either side bay. A hipped roof dormer with window accent sets high on the front roof slope. A similar dormer sets on the north roof slope. Slight, full-height, rectangular bay on the north elevation. Tall brick chimney visible on the south slope. Exterior wall fabric is stucco with rock aggregate. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes extended eaves and modest framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 552 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, brick residence of influenced Craftsman, Prairie styling, with notable roof tiling. Modestly styled urban singles and doubles of the prevailing trends, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side, though those of Queen Anne style were most predominant. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-9; N-1)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 562 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known James Newton (builder) Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

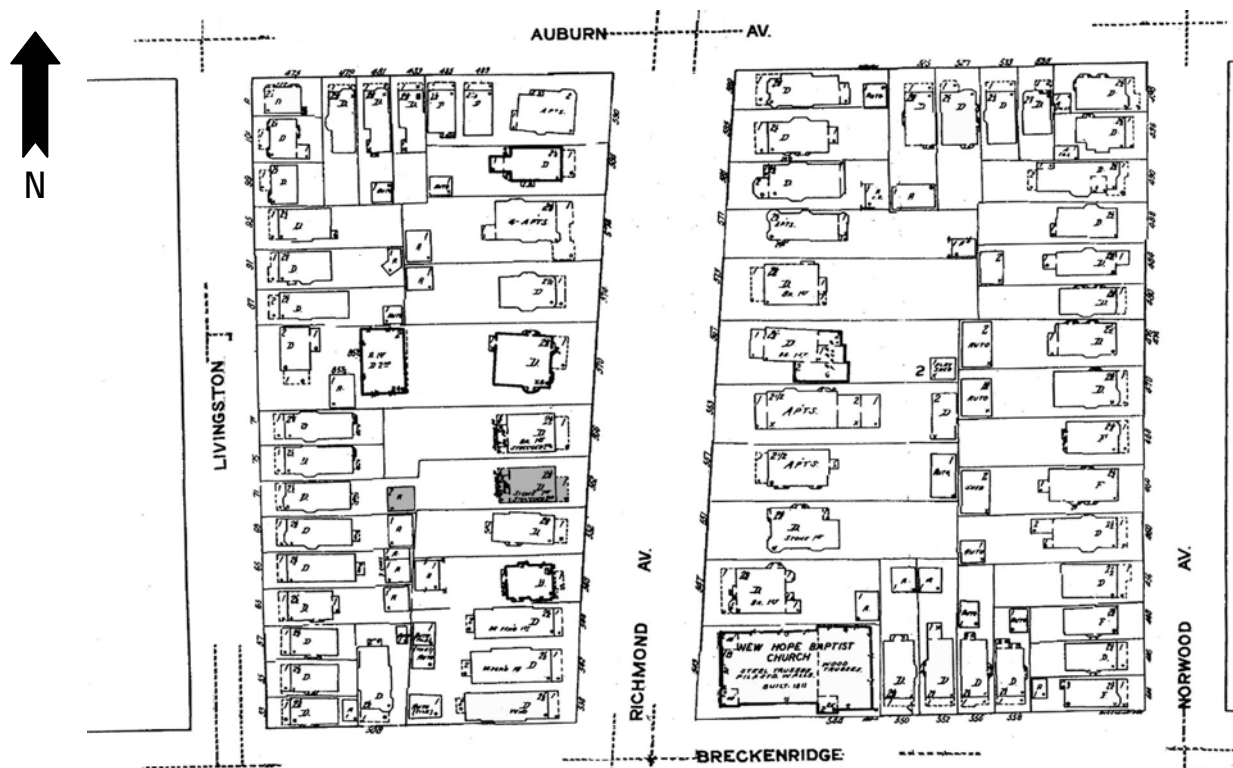
The single-family house at 562 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence with mixed Colonial and Craftsman period styling. It has a short rectangular plan and is set on a stone foundation. The façade has a  $\frac{3}{4}$ -width gabled porch to the south, with thick square stone pillars, solid stone rail that flows down into the foundation, modest frieze space, and entry stair to the south. The main entrance is located in the far south bay of the façade, under the porch. A single window sets to the north of the entrance, under the porch; an additional single windows sets in the north bay. The second floor façade is defined by simple symmetric single windowing, two set in each side bay. Two, small, conjoined, gabled dormers with window accents set centered on the front roof slope. Open side gable with regular window accents; rear section not included under main side gable. Stone chimney visible to the front on the north slope. Exterior wall fabric is stone on the lower story, with stucco upper. Fenestration is double-hung wood sash with 1/1, 8/1, 15/1 lights and fixed; multi-paned transoms over the paired windows in the dormers. Additional detailing includes extended eaves, exposed rafter tails, open brackets, verge boards, modest belt course and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 562 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence with mixed Colonial and Craftsman period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for James Newton. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-9; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 563 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Robert A. Wallace Date of construction, if known 1897

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family residence at 563 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

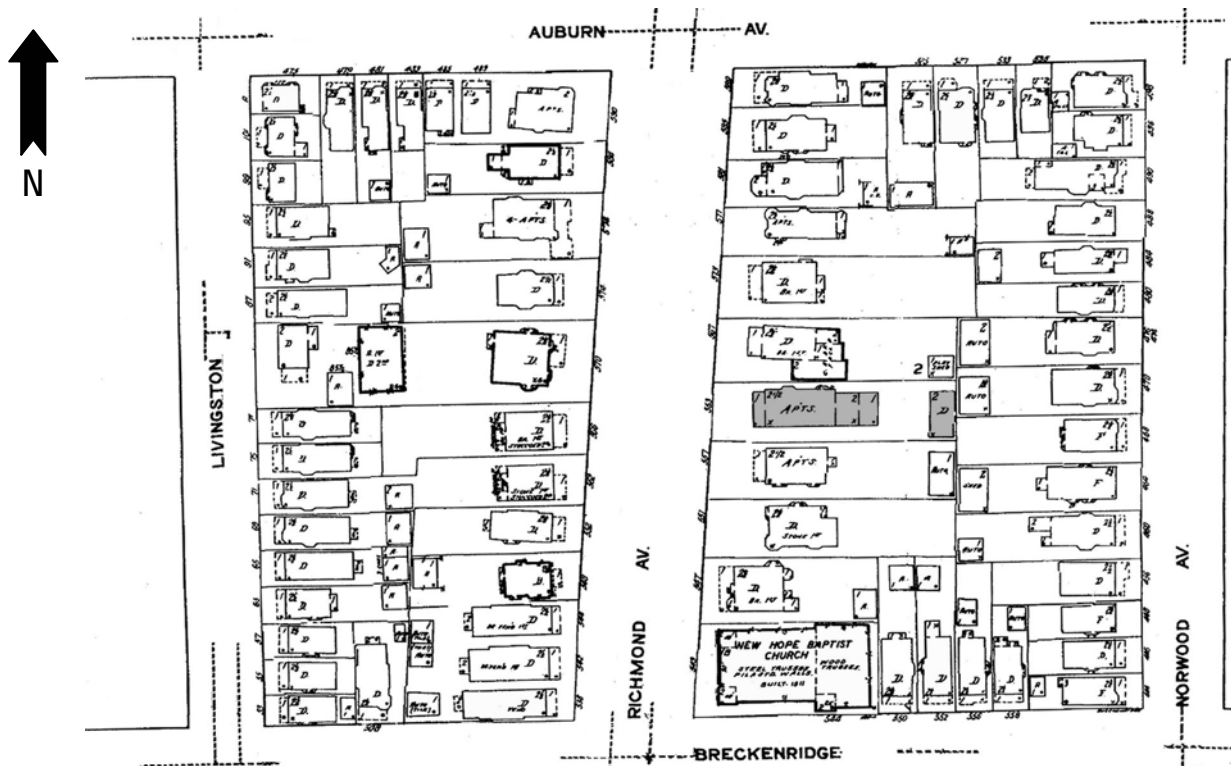
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of vernacular mixed Queen Anne influence.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 563 Richmond Avenue is significant as a non-contributing building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, this architect designed residence retains some of its initial character. Built for Charles Lamy.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-24)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 566 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known James Newton (builder) Date of construction, if known 1912

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 566 Richmond Avenue is set on a irregular lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

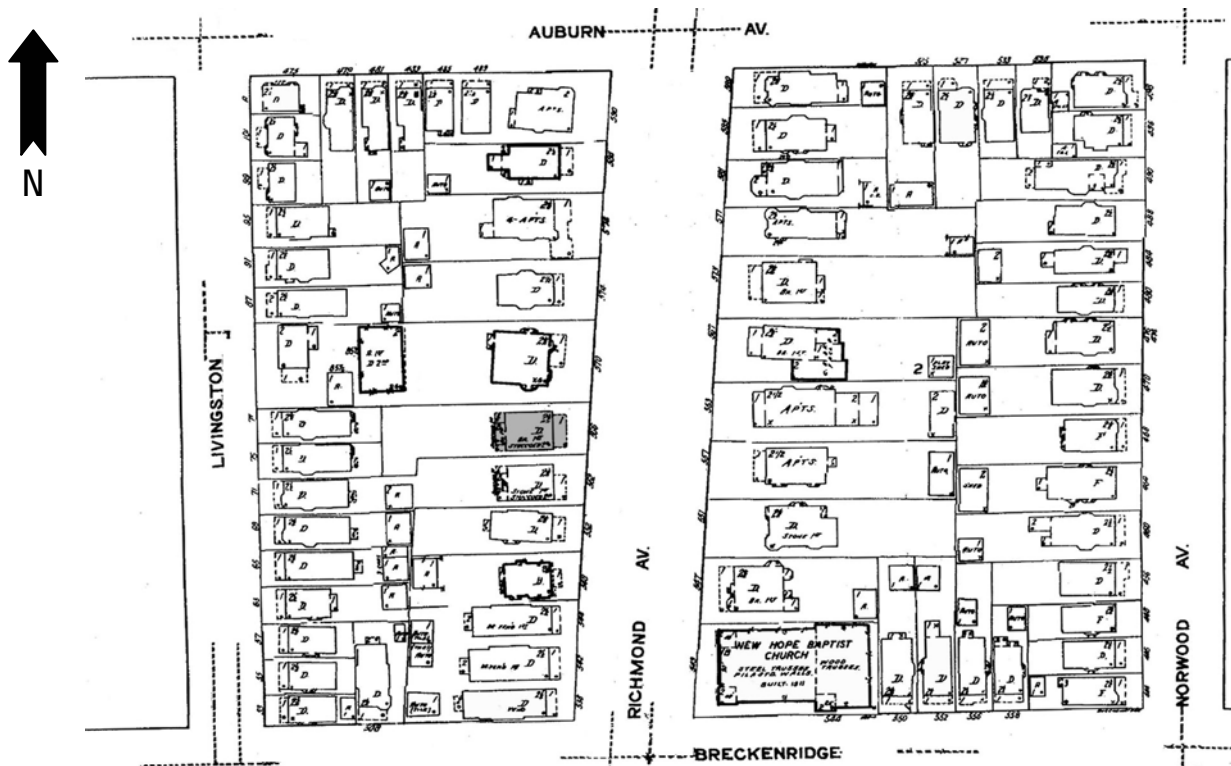
**NON-CONTRIBUTNG**

A two- and-one-half story, cross gabled, urban residence with mixed period influenced styling and design.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 566 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics to altered asbestos shingling, this architect designed residence retains some of its initial styling and character. Built for James Newton.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-9; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 570 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George J. Metzger Date of construction, if known 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☒ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 570 Richmond Avenue is set on a irregular polygonal lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

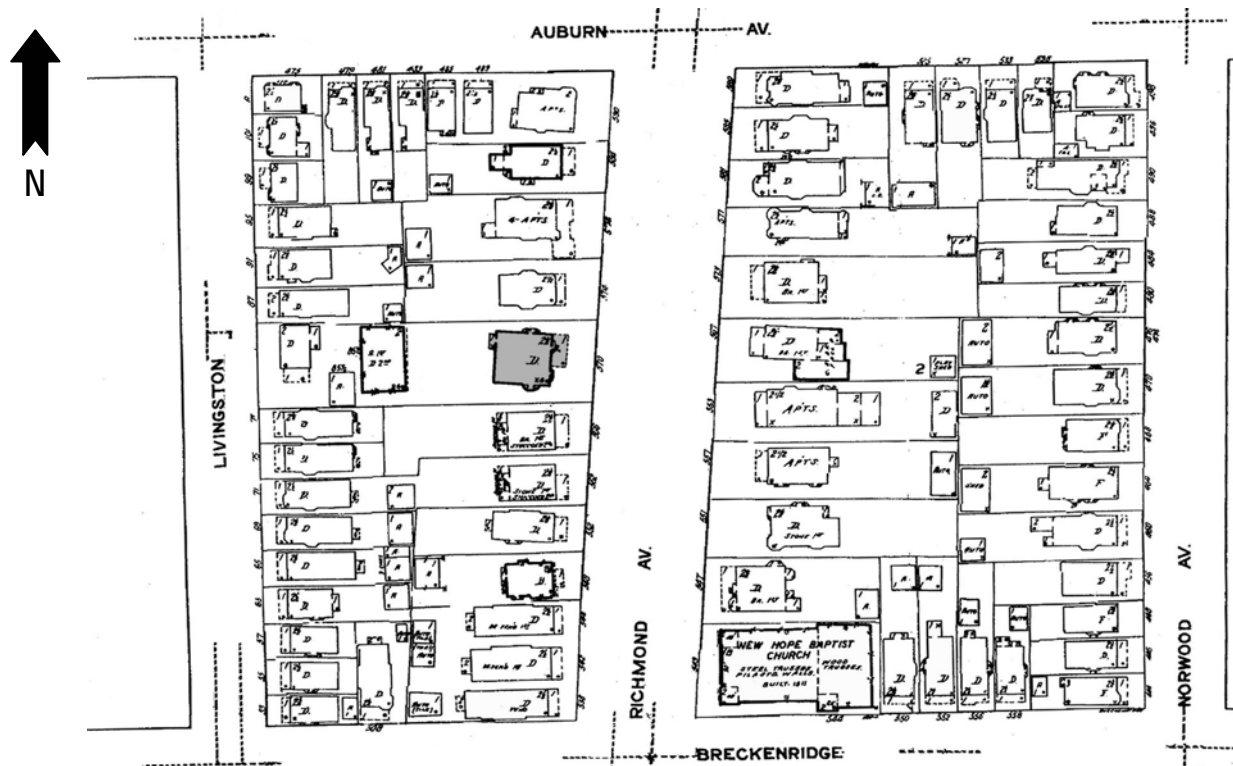
A two-story, hipped roof, urban, brick residence of high Colonial influenced, free classic Queen Anne. It has a rough squared plan and is set on a stone foundation. The façade has a 2/3-width, flat roofed, porch set to the north, with column supports, spindled wood rail, large entablature, and a metal-railed entry stair in the north. The enframed main entrance is located in the far north bay of the façade, under the porch. A large triple window group with modest enframing and leaded transom sets to the south of the entrance, under the porch. The south bay is defined by a roofed, two-story, polygonal bay with noted ornamentation. The second floor façade has a similar polygonal oriel in the north bay. A rounded-top roof dormer with Palladian-styled enframed window accent sets on the front roof slope. Similar dormer sets on the north and south roof slopes. Additional side entrance with arched roof and entry stair on the north elevation; large curved oriel to the front of the entrance on the north elevation. Several brick chimneys visible. Exterior wall fabric is brick with wood shingle on the dormers. Fenestration is primarily one-over-one double-hung wood sash and fixed, with extensive leading. Additional details include brick corner pilasters, wide frieze and ornamented cornice, and various trim and framing.

A large back house sets on a separate lot to the rear, # 572 Richmond Avenue.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 570 Richmond Avenue is significant as a good example of an architect designed, two-story, hipped roof, urban, brick residence of high Colonial influenced, free classic Queen Anne. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for William F. Wendt. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-9; N-4)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 574 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family residence at 574 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

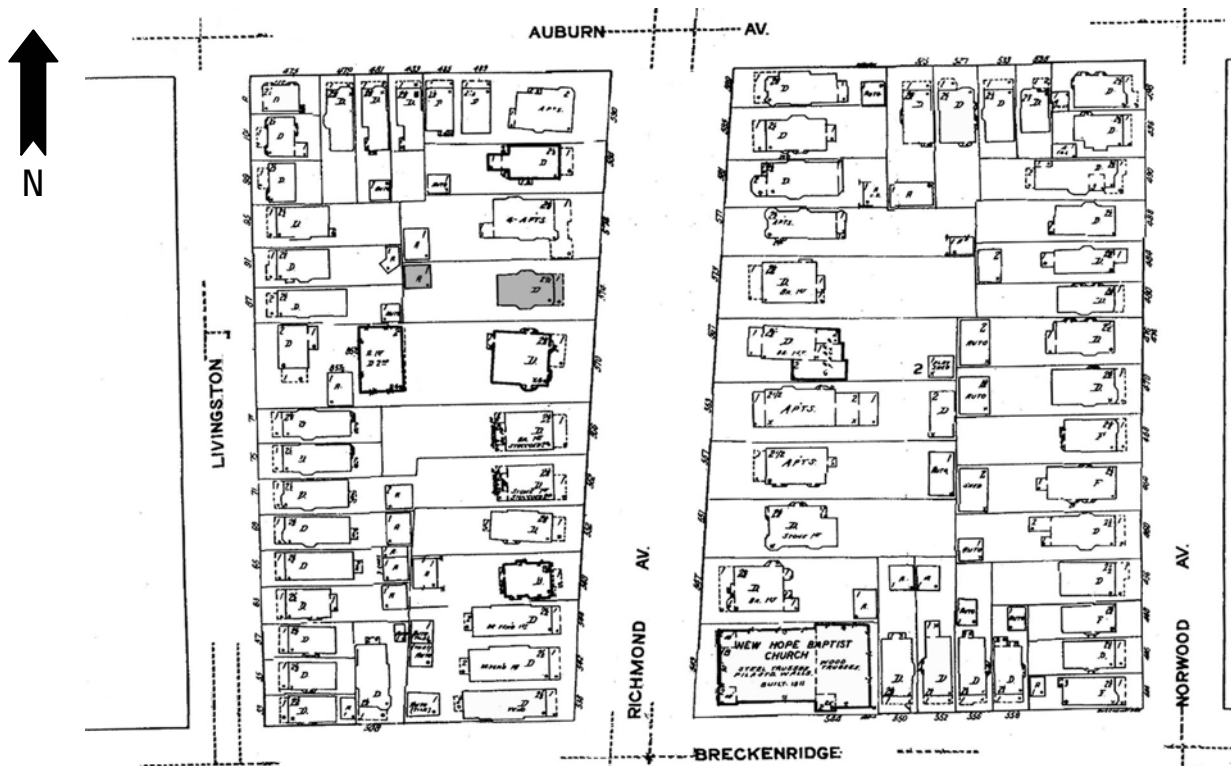
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame, moderate Queen Anne residence.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 574 Richmond Avenue is significant as a **non-contributing** of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics to altered aluminum siding, the residence retains much of its initial character.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-9; N-5)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 577 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: side fire escape; roofline Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family residence at 577 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

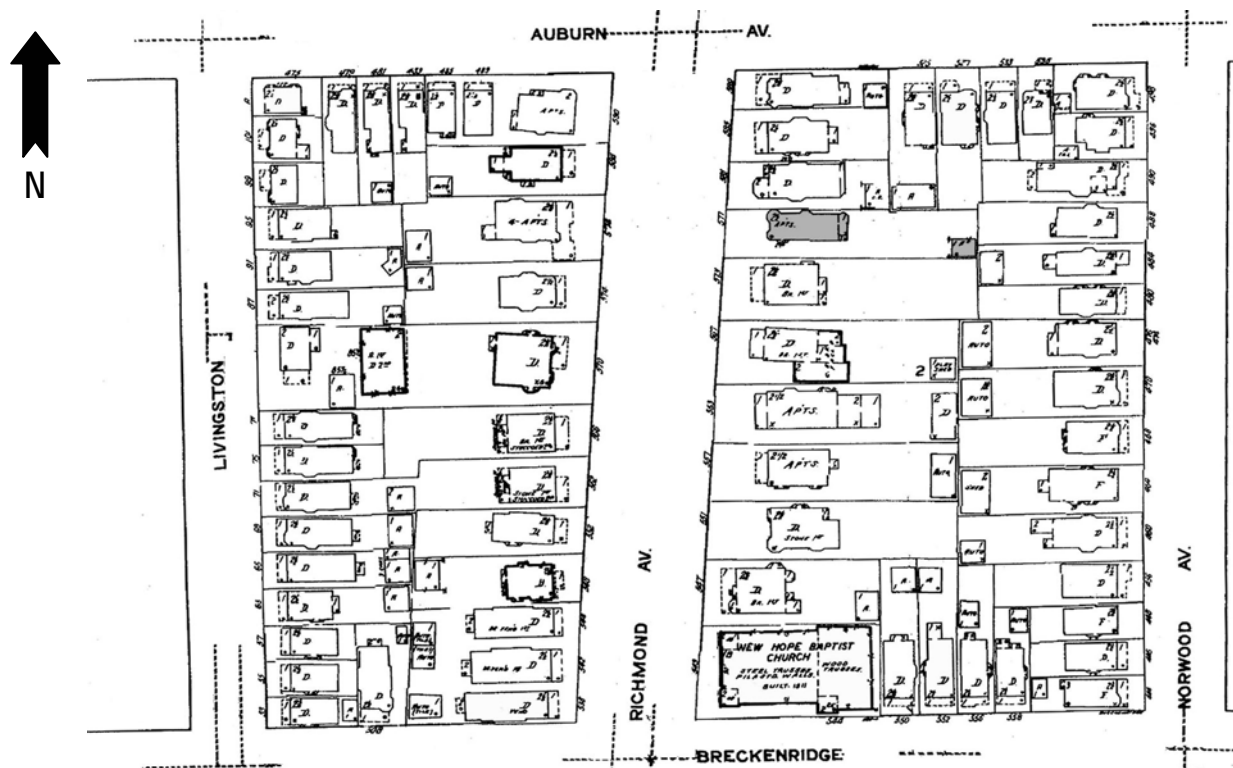
A two-and-one-half story, urban, frame residence of Queen Anne design and styling with a complex altered roof line. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with slender fluted square column supports, open wood rail, simple frieze space, and a central railed entry stair. The main entrance is located centrally on the façade. A slender, two-story, curved bay with windowing occupies the south bay, ending beneath a small lower front gable. The north bay is defined by a flat roofed, full height, engaged, circular tower with even tiered windowing. The second floor façade has an open porch with ½-height wood posts and open wood rail and a central porch entrance. A shed roof dormer sets on the front roof slope, joined to the adjacent north tower. A large shed roof dormer extending from the central ridge dominates the south roof slope; additional small pedimented dormer to the rear on the south slope. Side entrance on the south elevation with roofed entry porch and stair; roofed rectangular oriel on the south elevation to the front of the side entrance. Tall exterior brick chimney visible to the front on the south elevation. A modern metal fire escape extends down from the dormers on the south elevation, as well. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details include modest belt course, frieze, and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 577 Richmond Avenue is significant as a good representative example of a two-and-one-half story, urban, frame residence of Queen Anne design and styling with a complex altered roof line, flat roofed side tower, and reserved detailing. Moderate Queen Anne residences of varied styling and influences were common housing for families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-27)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 578 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☒ excellent ☐ good ☐ fair ☐ deteriorated

### Photos

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The residence at 578 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

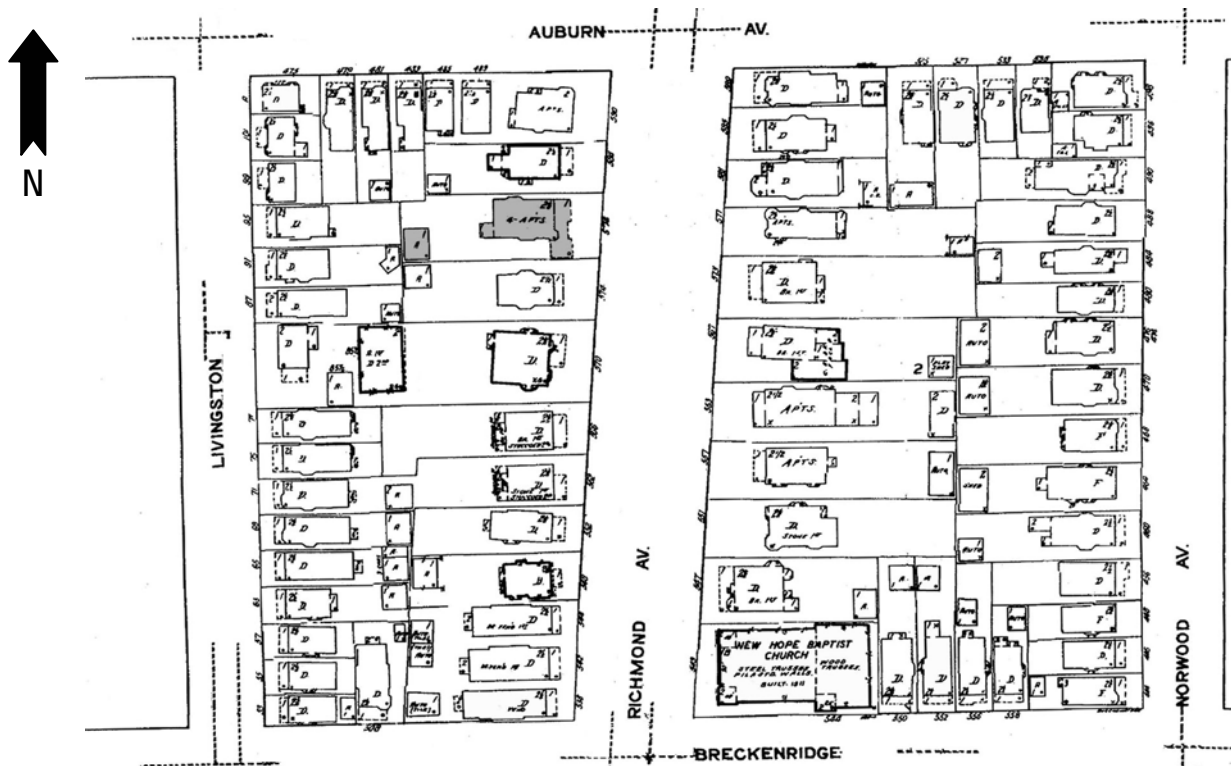
A two-and-one-half story, front gabled residence of high Queen Anne design and style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width shed roof porch with patterned square columns, open wood rail, modest entablature, half-width ornamented pediment in the north, and a small entry stair to the north beneath the pediment; porch roof extends to the south with an additional pediment over the driveway, creating a carport. The main entrance is located off center to the north on the façade. A single window occupies the far north bay; a single window sets in the south. A three-story, engaged, polygonal tower defines the far south bay of the façade, continuing upward to punctuate the roofline just to the rear of the main front gable. The second floor façade has a polygonal oriel in the north bay; a single window sets off center the south, aligned over the lower story windowing. The slightly projecting, pent enclosed front gable end is accented with a triple window group and decorative shingling; gable peak closed and raised with extensive ornamentation. A large, slightly projecting, gabled dormer extends from the main ridge on the north roof slope; a polygonal bay continues beneath the dormer of the north elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details include moderate belt course, frieze, trim and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 578 Richmond Avenue is significant as an excellent representative example of a two-and-one-half story, front gabled residence of high Queen Anne design and style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for modest upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-28)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 581 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stone facing

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family residence at 531 Richmond Avenue is set on a shortened lot, located on the east side of the street, at the north end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

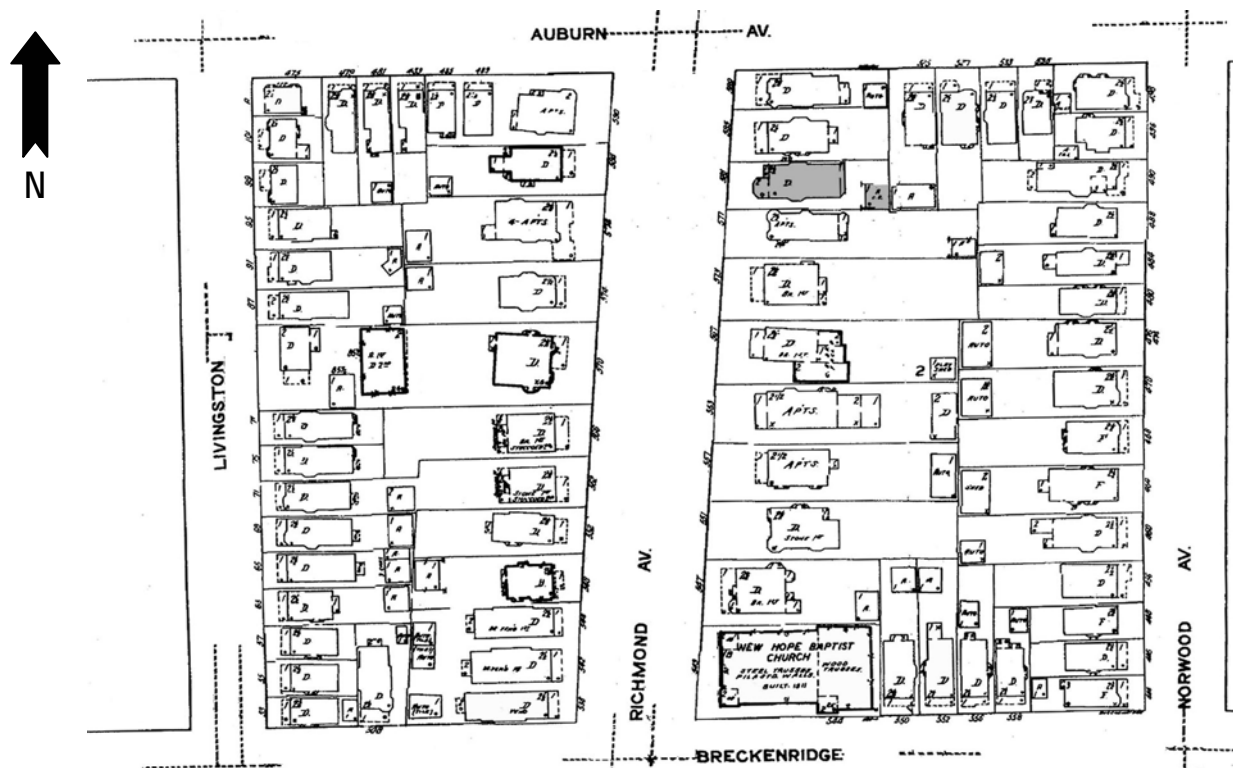
A two-and-one-half story, side gabled, urban, frame residence with mixed Colonial and Queen Anne period styling. It has a rough rectangular plan. The façade is dominated and defined by a large, flat roofed polygonal, projecting bay accented with tiered triple window groups with surrounds; a front gable with simple paired window accent sets above the bay on the main roof. The main entrance is located in the far north bay of the façade, within an enclosed porch with small metal railed entry way and stair. The second floor façade has a ¼-width open porch with metal rail and entrance, in the far north bay over the entrance. Side gables closed and accented with enframed window groups. Two-story, flat roofed, polygonal bay visible on the south elevation. A brick chimney sets low and to the south on the front roof slope. Exterior wall fabric is wood clapboard, with stone facing on the first-story façade. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional leading. Additional details includes reserved trim and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 581 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence with mixed Colonial and Queen Anne period styling. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-28)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 584 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known G. Morton Wolfe Date of construction, if known 1912

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☒ excellent ☐ good ☐ fair ☐ deteriorated

### Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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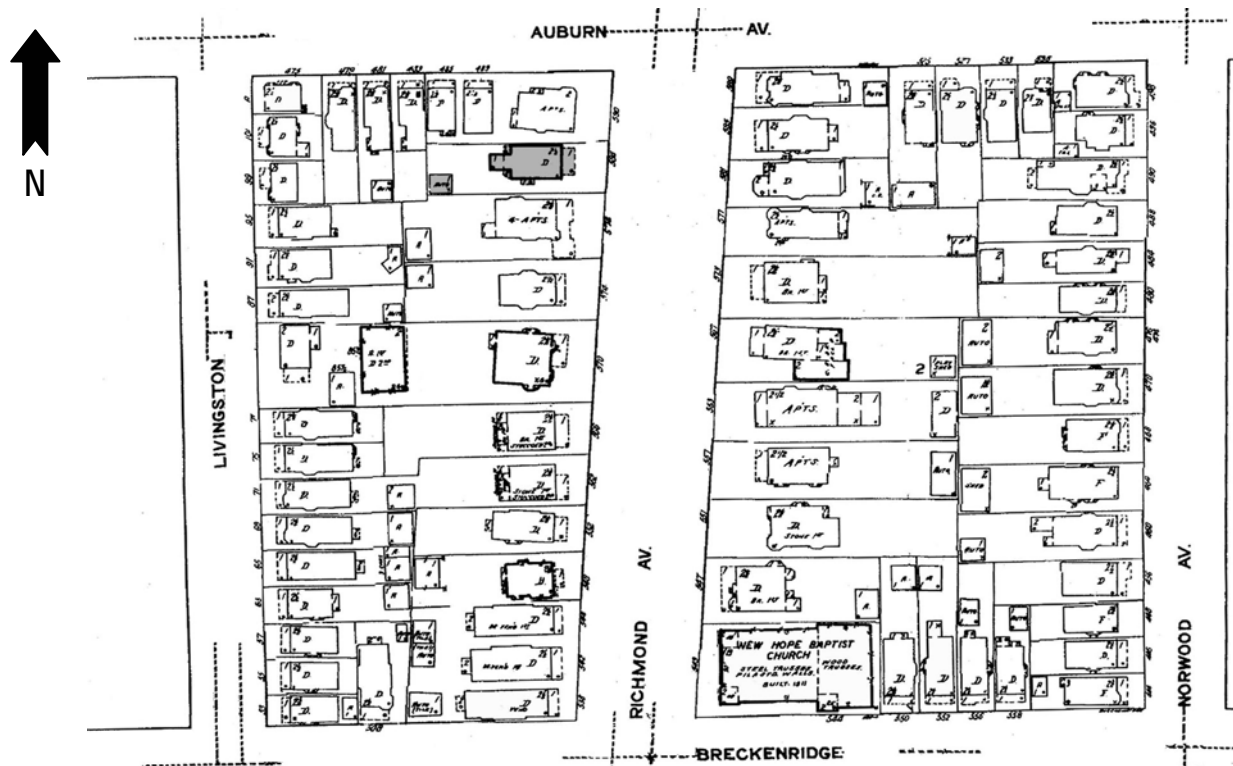
The single-family house at 584 Richmond Avenue is set on a shortened lot, located on the west side of the street, at the north end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A styled, two-story, hipped roof, Colonial Revival residence. It has a regular rectangular plan with central rear extension. The façade has a centered 7/8-width, flat roofed, porch with fluted Ionic columns and large molded entablature. The second floor façade is defined by simple symmetric single windowing, with a standard single window set in either side bay and a slim center single window. The main entrance is located centrally on the south elevation, beneath a 1/3-width, flat roofed porch with similar columns and entablature and entry stairs. A gabled dormer accented by end returns, pilasters and arched window with surround sets on the front roof slope. Similar dormers set on the south roof slope. Brick chimney visible on the north roof slope. First-story extension to the rear with second-story porch. Exterior wall fabric is brick with wood shingle on the dormers. Fenestration is primarily double-hung wood sash with 1/1, 4/1, and 8/1 lights and fixed, with leading; all windows have sills, keystone lintels, and shuttering. Additional details include noted frieze and cornice with molding, dentil and modillion detail.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 584 Richmond Avenue is significant as a excellent representative example of a styled, two-story, hipped roof, Colonial Revival residence. More styled than some, urban singles of varying design, such as this, were typical housing for modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built by G. Morton Wolfe, a local architect, for his own use. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-29)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 585 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: side fire escape Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The residence at 585 Richmond Avenue is set on a shortened lot, located on the east side of the street, at the north end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

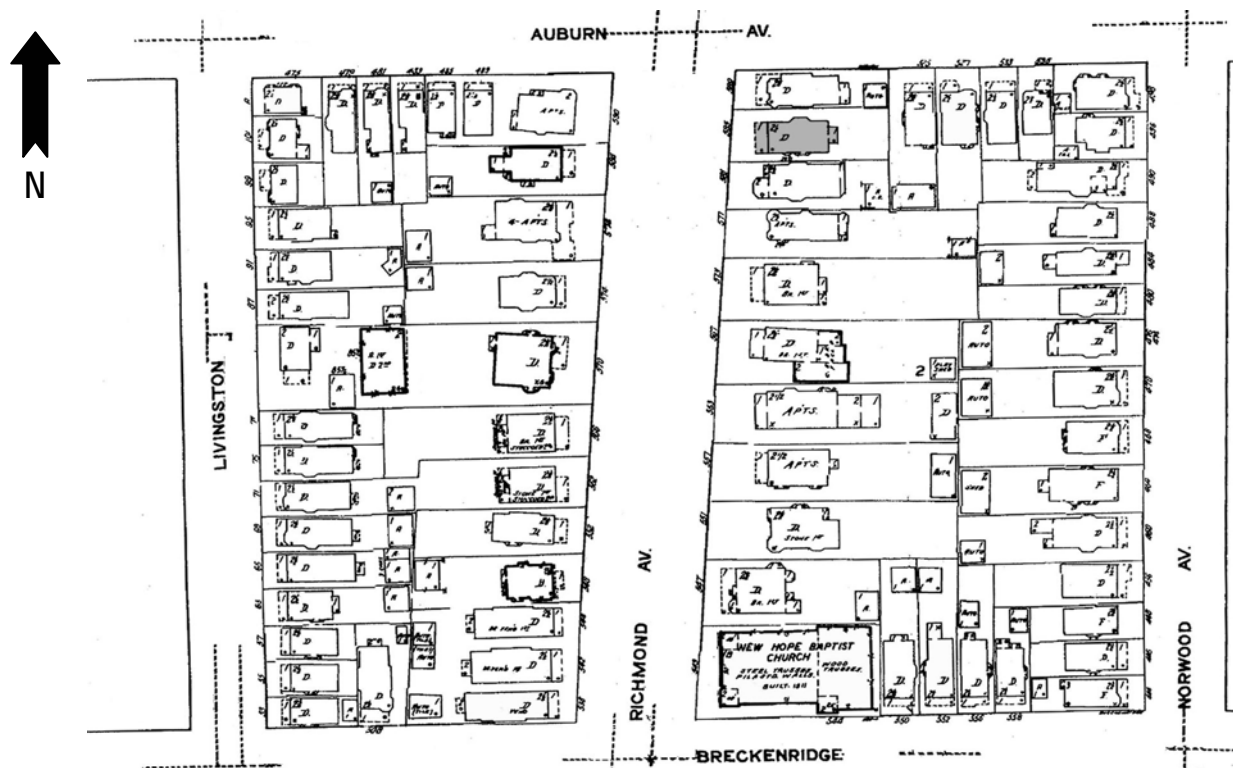
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame, modest Queen Anne influenced residence.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 585 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics to altered asbestos shingling, the residence retains some of its initial character.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-29)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 589 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stone facing

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 589 Richmond Avenue is set on a shortened corner lot, located on the east side of the street, at the north end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

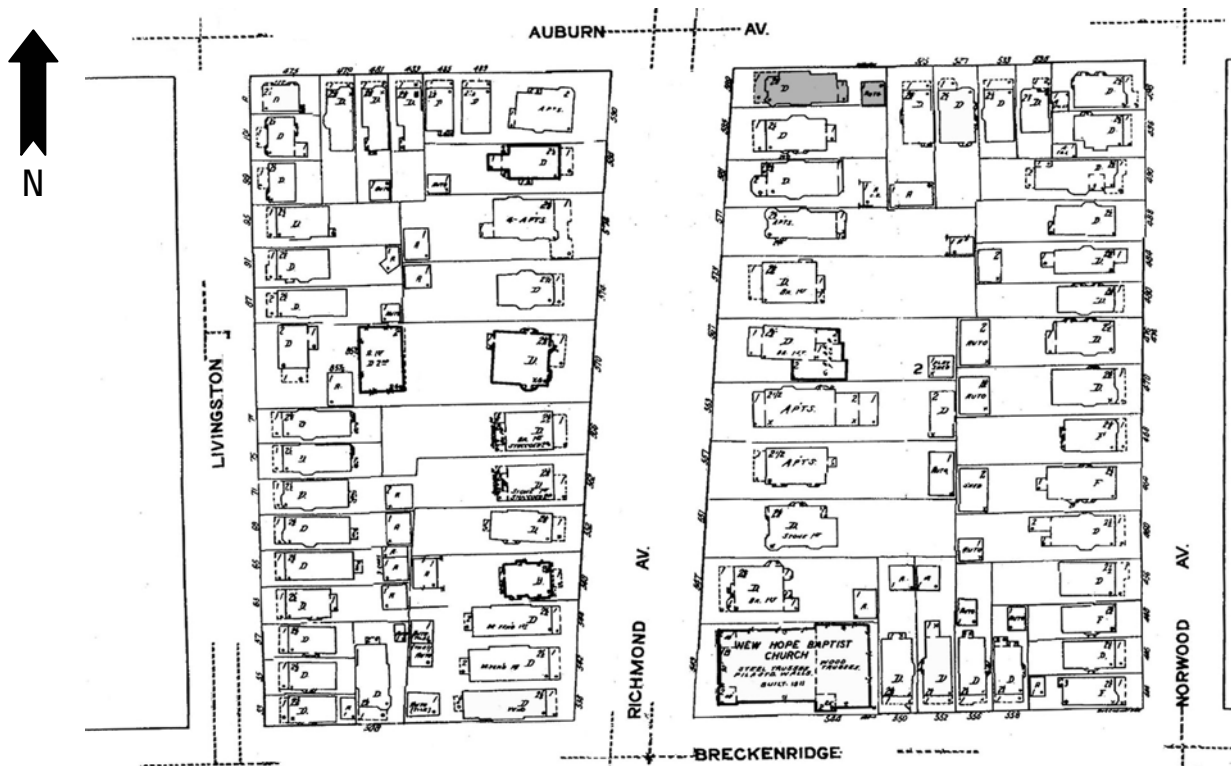
**NON-CONTRIBUTING**

A two-and-one-half story, moderate, urban frame, Queen Anne residence with a complex hipped and front gabled roofline and an engaged side tower.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 589 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains the majority of its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-30)







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& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 590 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and half-timbering

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

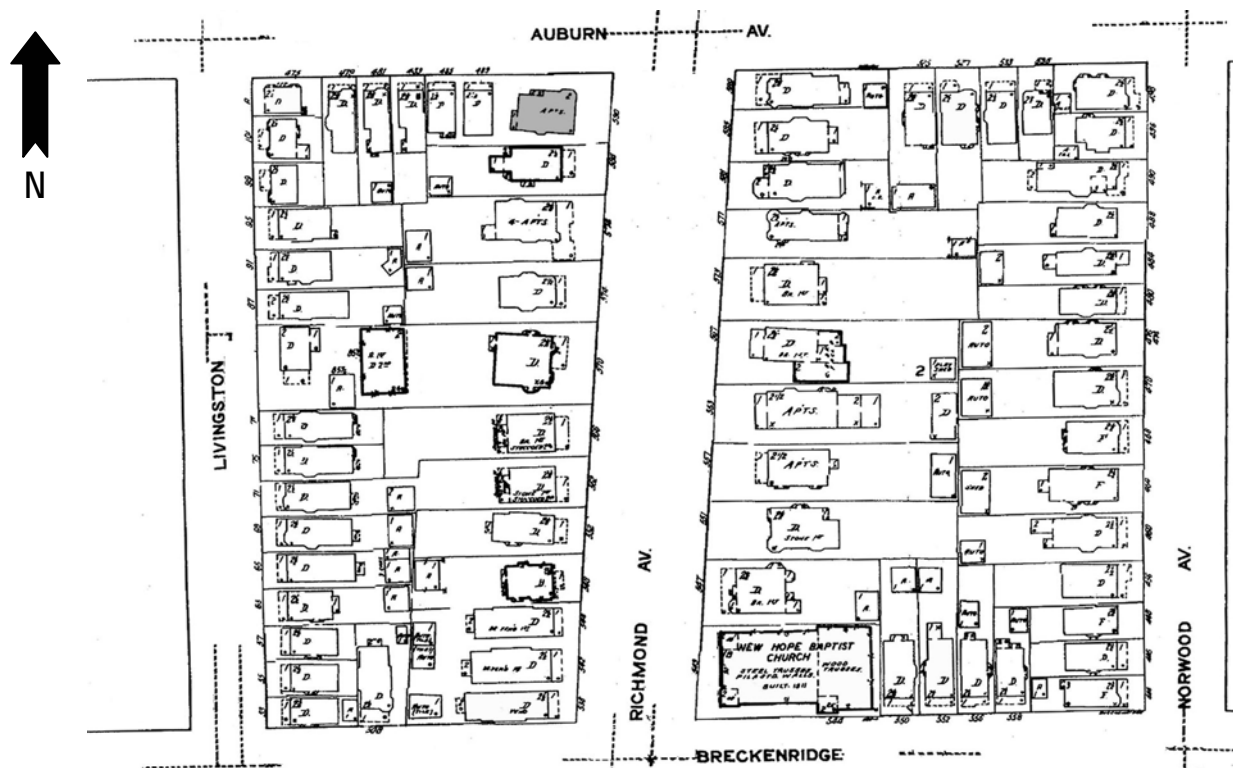
The multiple-family residence at 590 Richmond Avenue is set on a shortened corner lot, located on the west side of the street, at the north end of the block between Breckenridge Street and Auburn Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, urban, frame, eclectic Shingle residence with a complex roof line, side tower, and noted detailing. It has a rough squared plan and is set on a stone foundation. The façade which fronts Richmond Avenue is defined by a front gambrel section in the south. Brick exterior fabric on the first story, with stone quoins at the corners and a large central opening with wood shingle inset punctuated by a triple window group. The upper stories are contained with in the gambrel. Second-story has stucco had half-timbering with a central polygonal oriel; peak shingled and accented with a simple single window. The north section of the façade is defined by a conjoined and engaged polygonal tower. A large open porch with spindled wood rail and turned posts sets in the north, rounding the north façade corner; entrance on the rear face of the tower. The north elevation, fronting Auburn Avenue is defined by a projecting and extended side gable. The main entrance is located under an ornate recessed porch set in the rear corner of the side gabled extension. Upper stories contained within the gable; various irregular windowing on the north elevation, including an oval oculus and two small arched windows in the peak. Remaining hipped roofline. Brick chimney visible to the north. Exterior wall fabric is largely wood shingle, with brick and stucco and half-timbered sections. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details includes patterned shingling, reserved trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 590 Richmond Avenue is significant as a good representative example of a two-and-one-half story, urban, frame, eclectic Shingle residence with a complex roof line, side tower, and noted detailing. Design and style characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-30)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 600 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 600 Richmond Avenue is set on a shortened corner lot, located on the west side of the street, at the south end of the block between Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the south east section of the Grant-Ferry-Forest neighborhood.

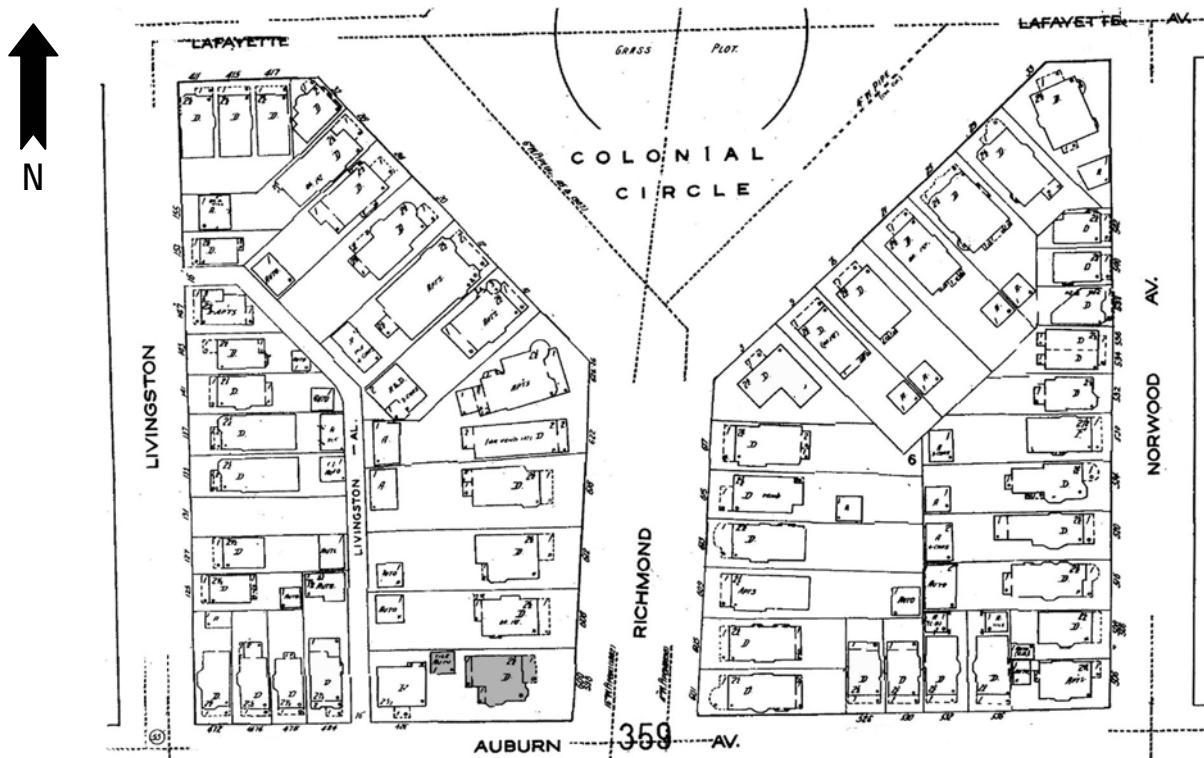
A two-and-one-half story, hipped and cross gabled, urban, frame, Queen Anne residence. It has a short, roughly squared plan and is set on a stone foundation. The façade has a 2/3-width, flat roofed, porch set to the north, with slender elaborate capitated column supports, spindled wood rail, moderate frieze, and an entry stair to the south. The modestly enframed and sidelighted main entrance is located on the façade, under the porch to the south. Windowing occupies the far north bay, under the porch. The south bay is defined by a two-story, polygonal bay with tiered triple windowing contained beneath a small projecting front gable with a single window accent. The second floor façade has a paired window in the north bay and a single window to the south. A small hipped roof dormer with double window accent sets on the north portion of the front roof slope. A similar dormer sets to the south slope of the front gable. Additional projecting side cross gable to the south with lower polygonal bay; bay and gable bisected by an exterior brick chimney. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details include simple corner boards, frieze, framing and trim.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 600 Richmond Avenue is significant as a good representative example of a two-and-one-half story, hipped and cross gabled, urban, frame, Queen Anne residence. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-31)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 608 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known E.P. Bacon Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family residence at 608 Richmond Avenue is set on a standard lot, located on the west side of the street, at the south end of the block between Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

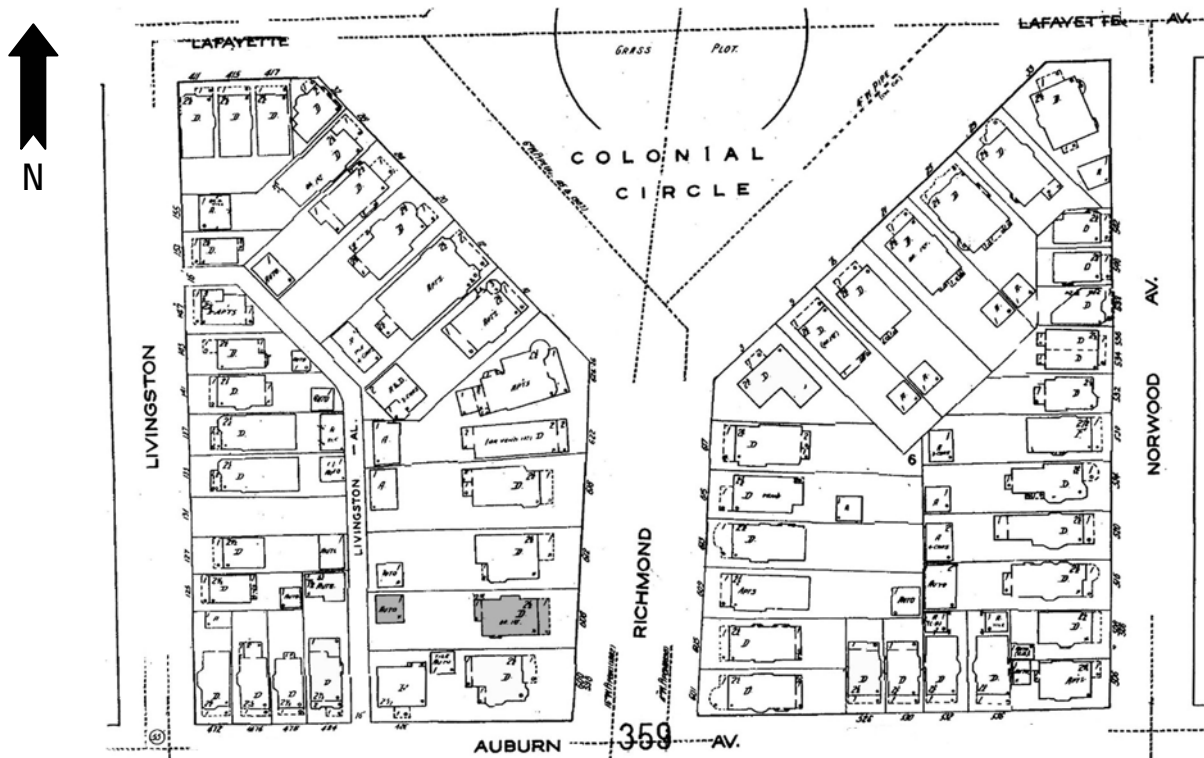
A two-story, front gambrelled, urban, frame residence with mixed Dutch Colonial Revival influence and high period styling. It has a rough squared plan and is set on a stone foundation. The façade has a full-width hipped roof porch with capped solid stone rail that extends down into the foundation, a trimmed wood upper with large flattened pointed arch cutouts, and a metal-railed entry stair in the north. The main entrance with surround is located in the far north bay of the façade. A window group with modest framing and shuttering occupies the south bay. The second floor façade is defined by curved oriels in the either side bay and a single center window. The pent enclosed gambrel is punctuated by a Palladian window. Small shed roof dormers with single window accent set spaced along the side roof slopes. A small first-story rectangular bay is visible to the rear on the south elevation. Brick chimney on the south roof slope to the rear of the first dormer. Exterior wall fabric is brick on the lower story, with wood shingle upper. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details include belt course, frieze, and trim.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 608 Richmond Avenue is significant as a good representative example of an architect designed, two-story, front gambrelled, urban, frame residence with mixed Dutch Colonial Revival influence and high period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for John B. Green. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-32)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 609 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Niederpruem & Co. (builder) Date of construction, if known 1898

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The residence at 609 Richmond Avenue is set on a slightly trapezoidal standard lot, located on the east side of the street on the block between Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

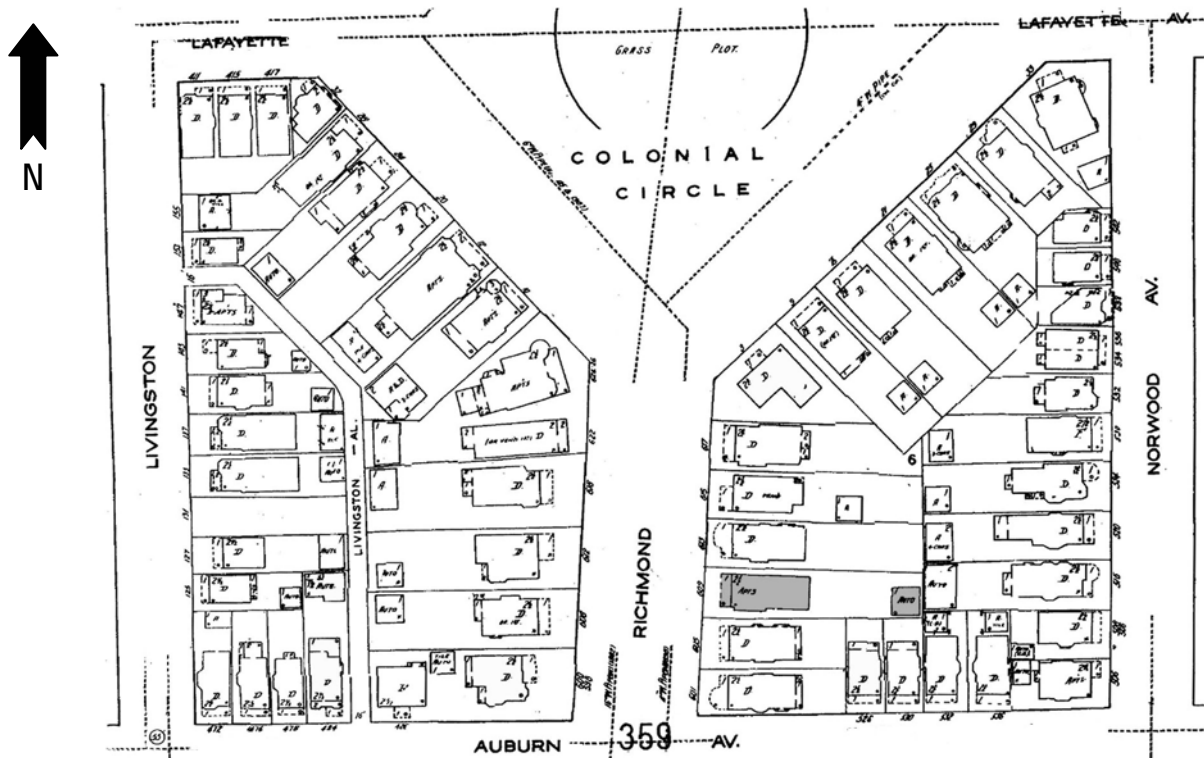
A two-and-one-half story, cross gabled, urban, frame, Queen Anne residence with noted style and detail. It has a rough rectangular plan. The façade has a full-width porch with square column supports, metal rail, and patterned frieze. An entrance is located in the far south bay of the façade. A triple windowed polygonal bay occupies the north bay. The second floor façade has an open porch with metal rail and similar triple window groups with enframements in either side bay; porch entrance in place of the central window in the south group. The closed front gable end is punctuated by an enframed triple window group. Substantial side cross gable to the south with similar accents and a lower, full-height, rectangular bay. Roofed entrance on the south elevation to the rear of the bay. Brick chimney visible. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed; multi-paning in the gable ends. Additional detailing includes corner pilasters, frieze, and various trim and molding.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 609 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame, Queen Anne residence with noted style and detail. Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Niederpruem & Co. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-33)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 612 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Frank A. Chappelle Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 612 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between and Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

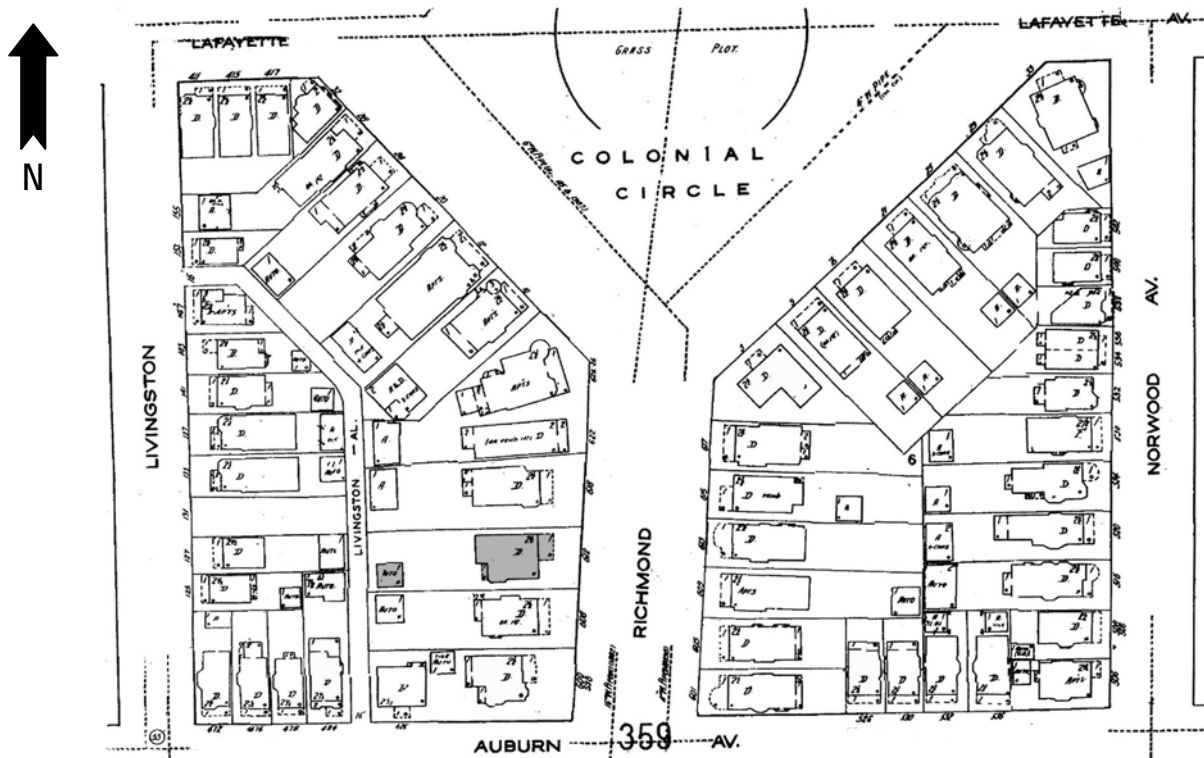
A two-story, hipped roof, urban, frame residence of mixed Craftsman influenced style. It has a rough squared plan and is set on a stone foundation. The façade has a 2/3-width, hipped roof, porch set to the north, with paired trimmed square column supports, open wood rail, extended eaves, modest frieze space, and a railed entry stair to the south. The enframed and sidelighted main entrance is located centrally on the façade, under the porch. Windowing in the north bay, under the porch. The south bay is defined by a two-story, rectangular bay with tiered triple windowing. The second floor façade has a similar rectangular oriel in the north bay and a centered oval oculus with leading. A hipped roof dormer with triple window group accent sets on the front roof slope. Smaller similar dormers set on the north and south roof slopes. Additional side entrance on the north elevation; roofed rectangular oriel to the front of the entrance on the north elevation. Several brick chimneys visible. Exterior wall fabric is wood shingle. Fenestration is primarily double-hung wood sash with 1/1 and 6/1 lights and fixed, with occasional leading. Additional details include extended eaves with exposed rafter tails, and simple framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 612 Richmond Avenue is significant as a good representative example of an architect designed, two-story, hipped roof, urban, frame residence of mixed Craftsman influenced, Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for Lucy A. Fisher. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-33)









## HISTORIC RESOURCE INVENTORY FORM

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P.O. BOX 189, WATERFORD, NY 12188  
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### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 617 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known John W. Gibbs (builder) Date of construction, if known 1899

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

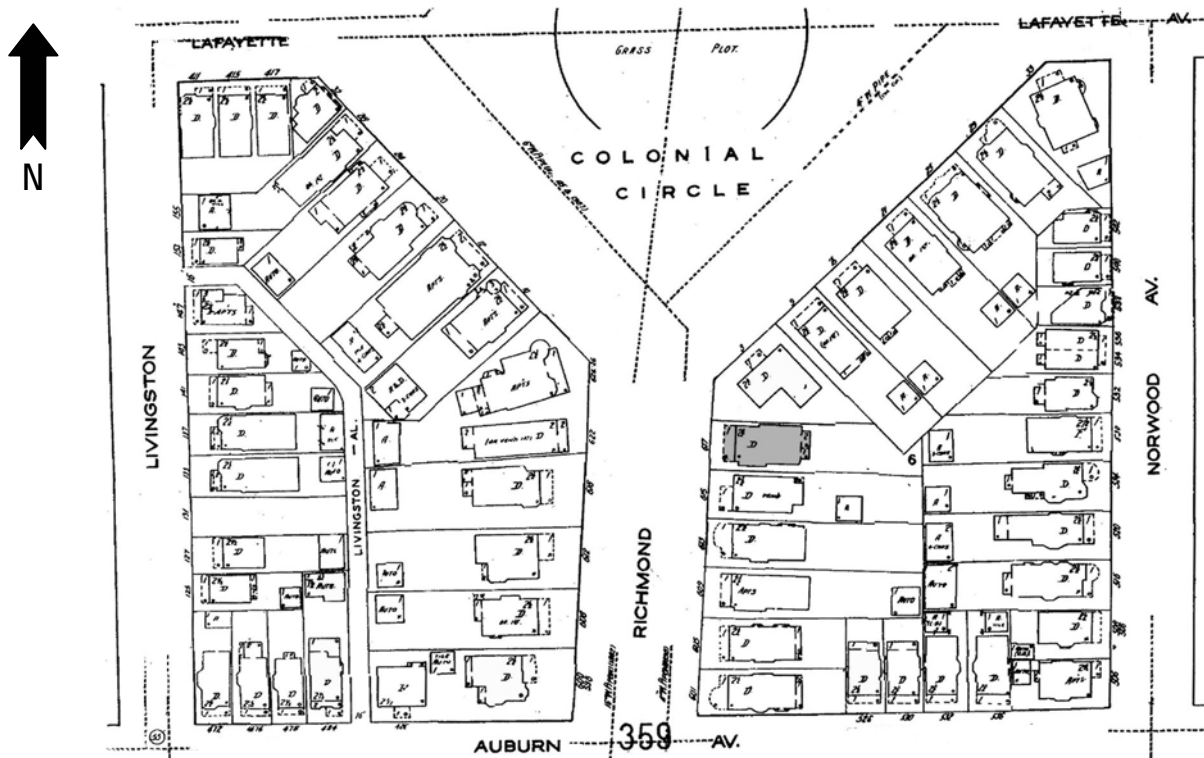
The single-family house at 617 Richmond Avenue is set on a slightly irregular lot, located on the east side of the street on the block between Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne influenced style and modest period detail. It has a rough rectangular plan. The façade has a full-width hipped roof porch with slender fluted columns, spindled and patterned cutout wood rail, modest frieze space with flattened pointed arch cutouts, and a small pedimented extension over the central railed entry stair. The main entrance is located in the south bay of the façade. An elongated single window with transom sets to the south of the entrance, in the far side bay. A similarly elongated triple window group with transom occupies the north bay. The second floor façade has a paired window in the south bay; the north bay is defined by a polygonal oriel contained beneath a small projecting front gable with an enframed paired casement window accent with latticed panes. A small gabled dormer with similar windowing accent sets on the south portion of the front roof slope. A similar dormer sets on the north slope of the front gable. Projecting side cross gable to the north with an extending second-story rectangular projection that continues to the rear corner; additional roofed polygonal oriel to the rear on the projection. Roofed and bracketed first-story polygonal oriel visible to the front on the south elevation; rectangular bay extending from the second-story projection visible further to the rear. Several brick chimneys visible. Exterior wall fabric is wood clapboard and shingle. Fenestration is one-over-one and nine-over-one double-hung wood sash, fixed, and casement; leading and latticework. Additional details include extended eaves with exposed rafter tails, belt course, bracketing, frieze, framing and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 617 Richmond Avenue is significant as a good representative example of a two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne influenced style and modest period detail. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built by builder John W. Gibbs for his own use. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-36)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 618 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known William W. Carlin Date of construction, if known 1888

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 618 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

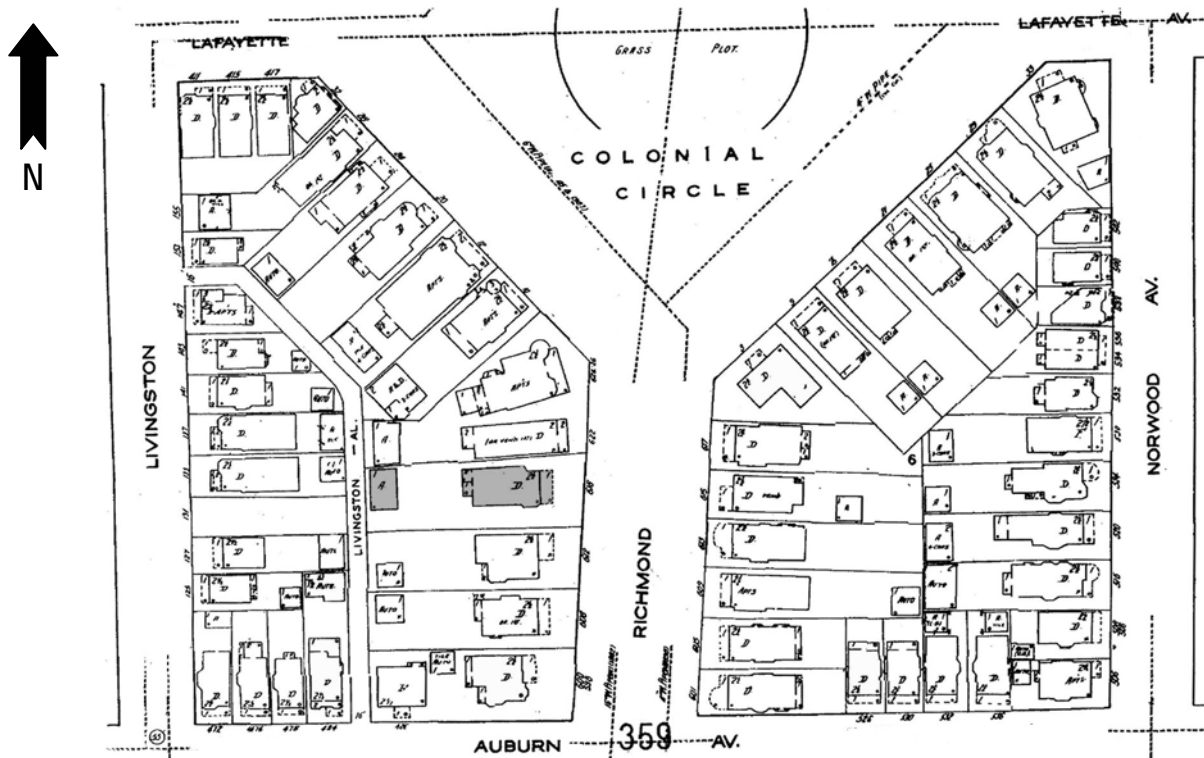
A two-and-one-half story, hipped and cross gabled, urban, frame residence of mixed period influenced Queen Anne style. It has a rough rectangular plan. The façade has a full-width hipped roof porch with patterned square columns, open wood rail, moderate molded frieze, and a metal railed entry stair in the north. The main entrance is located in the north bay of the façade. Windowing occupies the south bay. The second floor façade has a ¼-width recessed porch with similar patterned square columns and flattened arch cutouts. A single window with Queen Anne detailing sets in the south bay. A window accented cut corner defines the far south bay. The closed front gable end is punctuated by an angled projecting paired window; decorative shingling in the peak. A low hipped dormer occupies the south slope of the front gable; brick chimney visible on the north. Large open side gable to the south; peak closed and raised. Varied windowing in the gable end and on the south elevation; upper stories project slightly over the first-story. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details include moderate belt course, molded façade frieze, framing and trim.

A garage sets in the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 618 Richmond Avenue is significant as a good representative example of an architect designed, two-and-one-half story, hipped and cross gabled, urban, frame residence of mixed period influenced Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Laura I. Moore. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-34)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 622 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: roof tiles on first-story porch

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 622 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

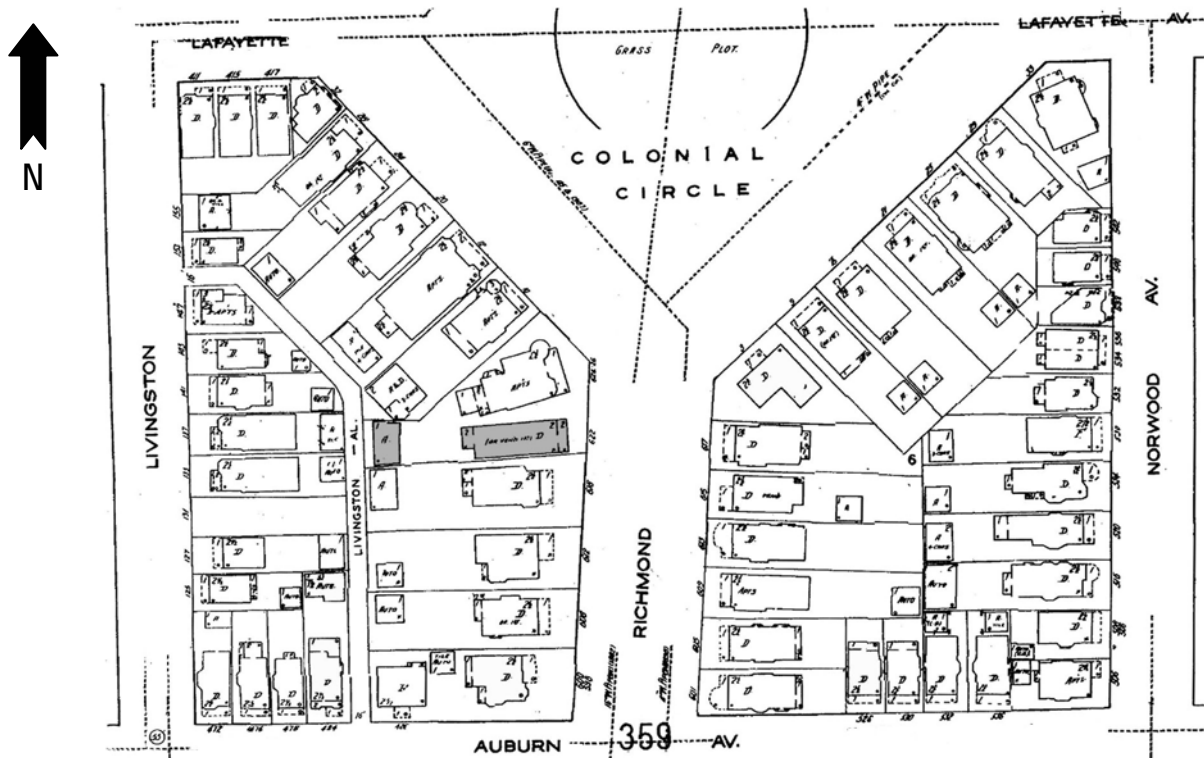
A two-story, hipped roof, urban, residence of Craftsman influenced style. It has a rectangular plan. The façade has a full-width enclosed brick living porch with wide ribboned window upper with transoms, plain capped corner pilasters, and extended eaves with wide tiled pent. The main entrance is located on the north elevation. The second floor façade has a similar enclosed, flat-roofed, living porch with low wood panel base, wide grouped window upper with transoms, and simple frieze. A hipped roof dormer with triple window group accent sets on the front roof slope. Smaller dormer sets on the south roof slope. Subtle rectangular projection on the south elevation. Tall brick chimney visible on the north slope. Exterior wall fabric is brick on the lower story, stucco upper. Fenestration is primarily double-hung wood sash with 1/1 and 6/1 lights and fixed, with occasional multi-paning. Additional details include simple belt course, frieze, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 622 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, residence of Craftsman influenced style. Modestly styled singles of the prevailing trends, such as this, were common housing for families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-35)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 626 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Charles D. Swan Date of construction, if known 1891

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

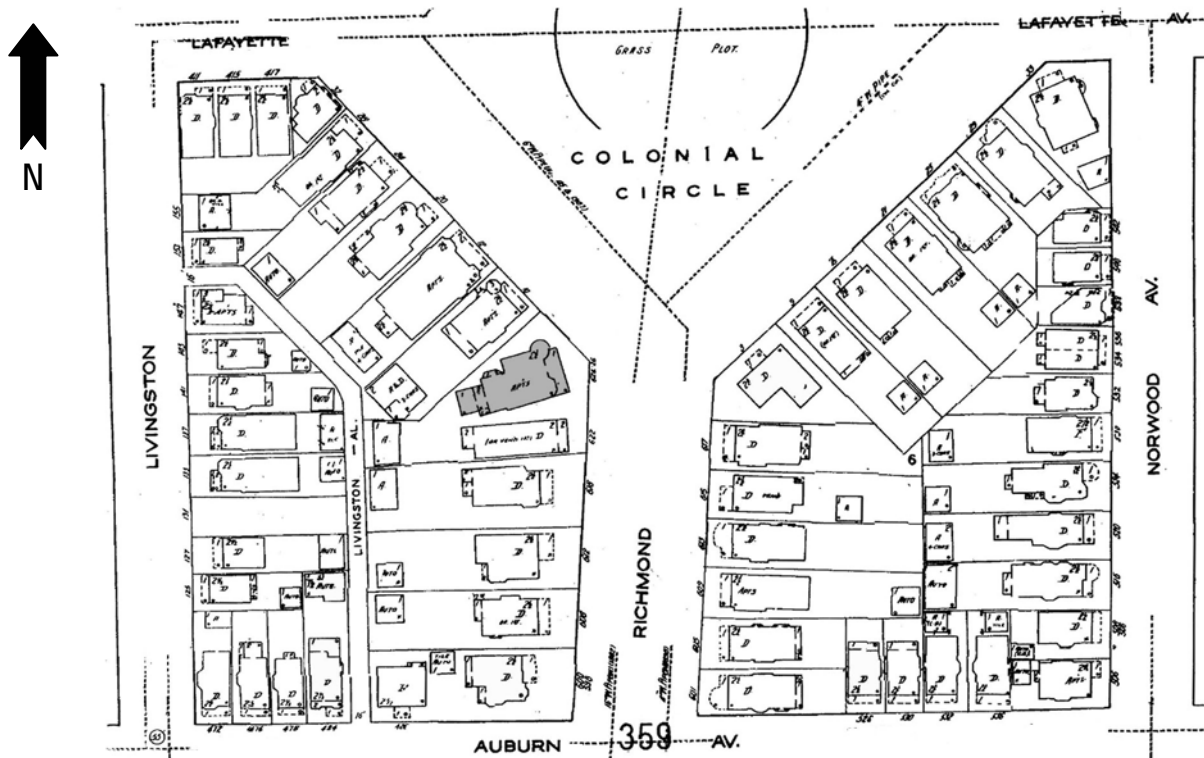
The residence at 626 Richmond Avenue is set on a trapezoidal lot located on the west side of the rotary, at the north end of the block between Auburn Avenue and Colonial Circle. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

A large, architect designed, two-and-one-half story, side gabled, urban, frame residence of mixed Shingle influenced design and styling. It has an irregular slightly elled-plan and is set on a stone foundation. The façade has a full-width, flat roofed, enclosed living porch with high stone base, clapboard upper accented by simple paired and single windowing, and modest frieze and cornice. The main entrance is in a central recessed niche in the façade porch and reached by a entry stair. The second-floor façade has two central paired windows and a projecting polygonal oriel in the south with a small balcony on the roof. The south bay is defined by a two-and-one-half story, engaged, circular tower, with stone on the lower-story and window accents. Two small closed gabled dormers with window accent set on the south portion of the front roof slope. Slightly lower side gable to the south; projecting gable end with small window accents; peak closed and raised. Two brick chimneys visible on the front roof slope. Exterior wall fabric is wood clapboard and shingle, with stone on the tower. Fenestration is primarily double-hung wood sash with 1/1 and 6/1 and fixed. Additional details include simple corner boards, frieze, framing and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 626 Richmond Avenue is significant as a good representative example of a large, architect designed, two-and-one-half story, side gabled, urban, frame residence of mixed Shingle influenced design and styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Though such dwellings were typical housing for families in the early twentieth century on the West Side, those of the earlier Queen Anne style are most predominant. Built for Lachland E. McKinnon of the McKinnon Dash and Hardware Co. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-3; N-10)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 670 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

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Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 670 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Ardmore Place and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

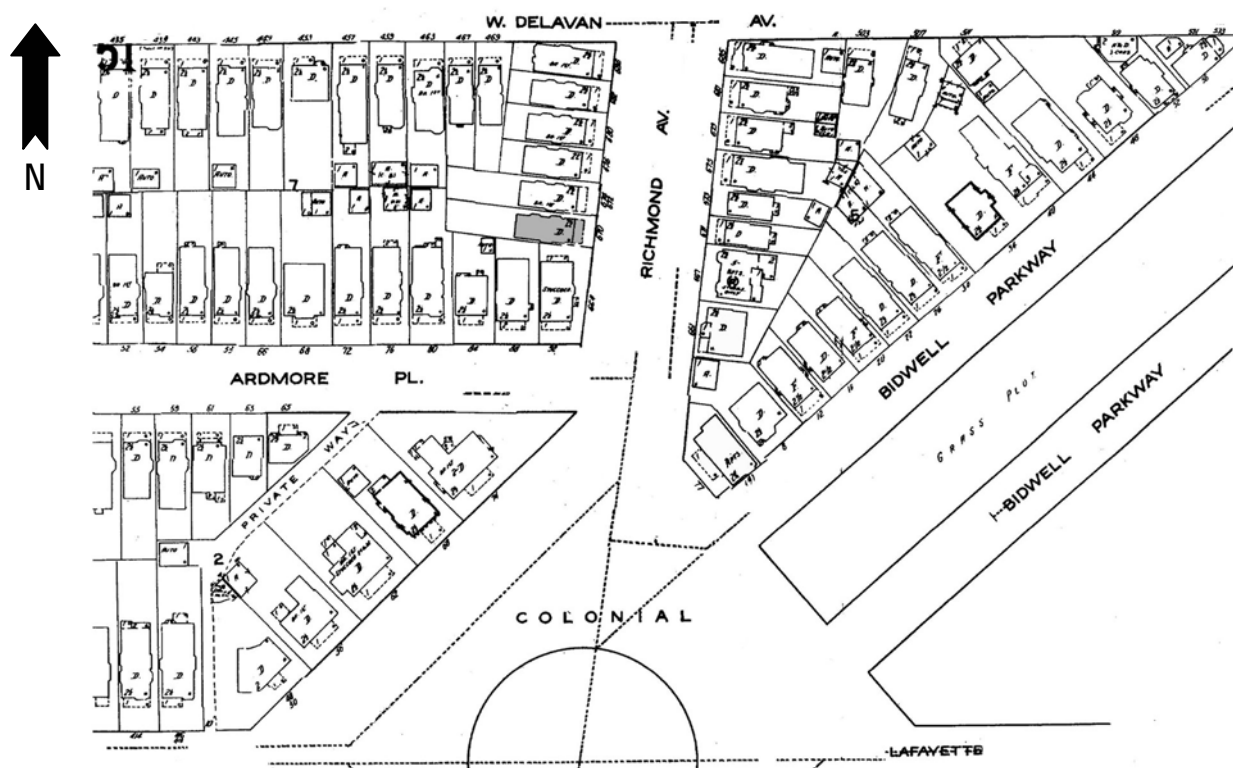
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 670 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-2)







## HISTORIC RESOURCE INVENTORY FORM

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### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 673 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 673 Richmond Avenue is set on a shortened slightly trapezoidal lot, located on the east side of the street between Colonial Circle and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

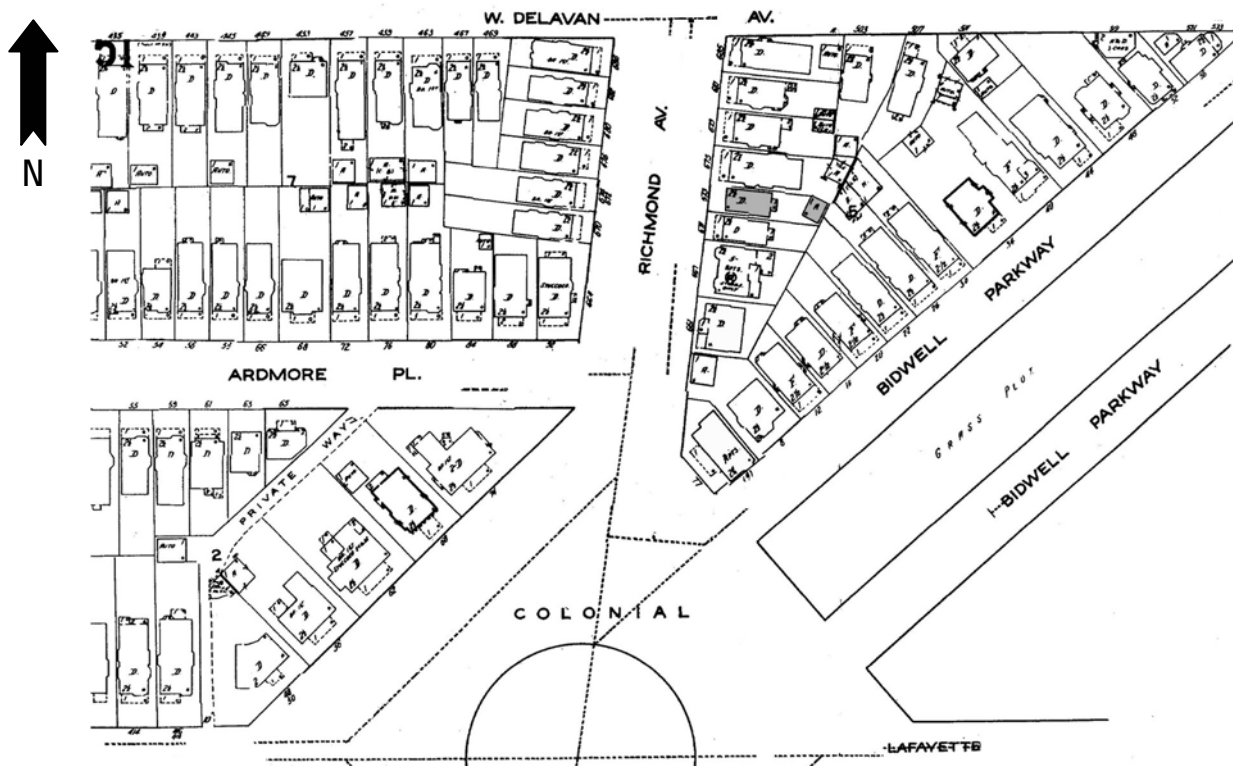
A two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. It has a rectangular plan. The enframed main entrance is located in the far north bay of the façade, reached by a 1/3-width metal railed entry porch and stair. A framed triple window group with vertical paned uppers occupies the south bay. The second floor façade is defined by matching triple windowed polygonal oriels set in either side bay. A hipped roof dormer with triple window group accent sets on the front roof slope. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details include simple corner boards, slight extended eaves, and framing.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 673 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for M.J. Hudson. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-5)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 674 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 674 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Ardmore Place and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

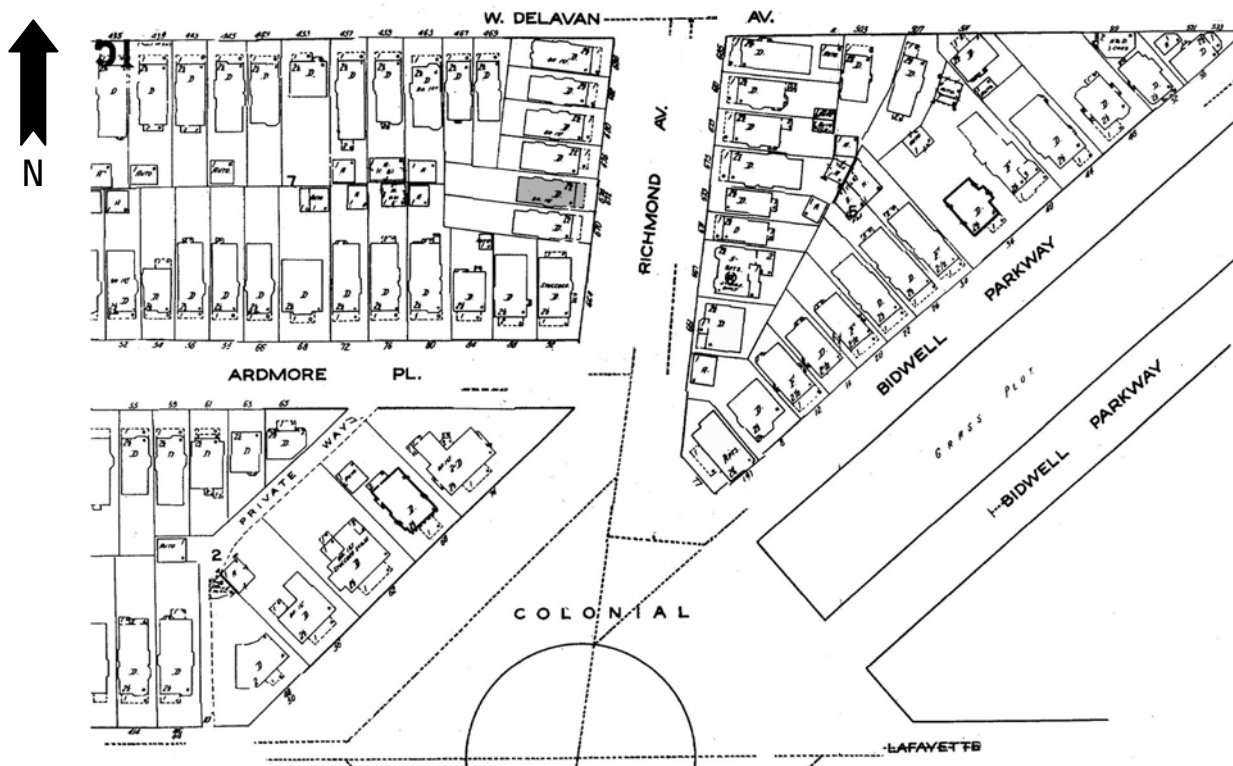
**NON-CONTRIBUTUIN**

A two-and-one-half story, front gabled, urban, brick and frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 674 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics to altered aluminum siding, the residence retains some of its initial styling and character. Built for Alexander Fleming.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 675 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Louis P.J. Eckel Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 675 Richmond Avenue is set on a slightly trapezoidal lot, located on the east side of the street between Colonial Circle and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

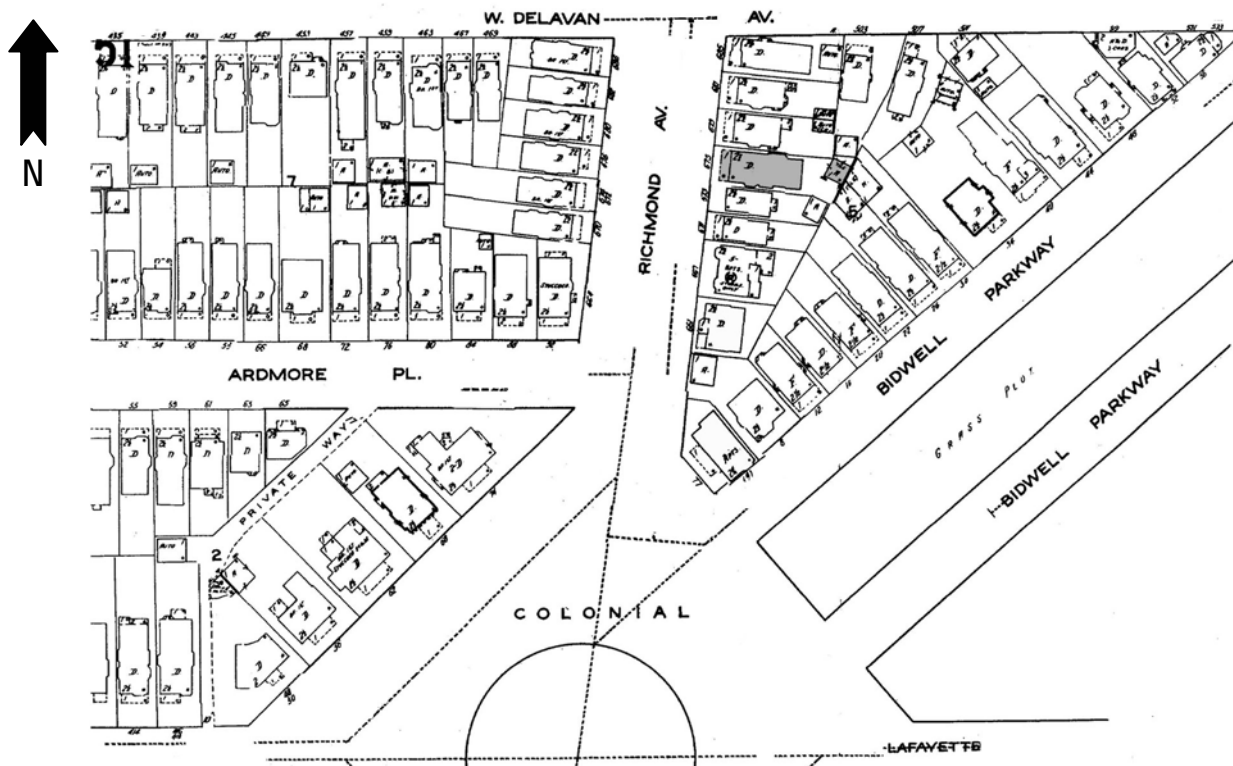
A two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. It has a rectangular plan. The façade has a full-width porch with metal rail and supports, medium frieze space, and entry stair in the north. The main entrance is located in the north bay of the façade. A window sets to the north of the entrance, in the far side bay. A triple window group occupies the south bay. The second floor façade has an open porch with metal rail and awning supports, a polygonal oriel in the south bay, and a porch entrance in the north framed by two small leaded windows. The pent enclosed gable end is punctuated by a recessed triple window group. A substantial cross gable sets to the south with multiple lower bays. Brick chimney visible on the south roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1, 6/1, and 8/1 lights and fixed. Additional detailing includes corner pilasters, frieze, lookouts, and framing.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 675 Richmond Avenue is significant as a good representative example of an architect designed, two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. Modest to moderately styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for William M. Evarts. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-6)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 676 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stone facing

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 676 Richmond Avenue is set on a shortened rectangular lot, located on the west side of the street on the block between Ardmore Place and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

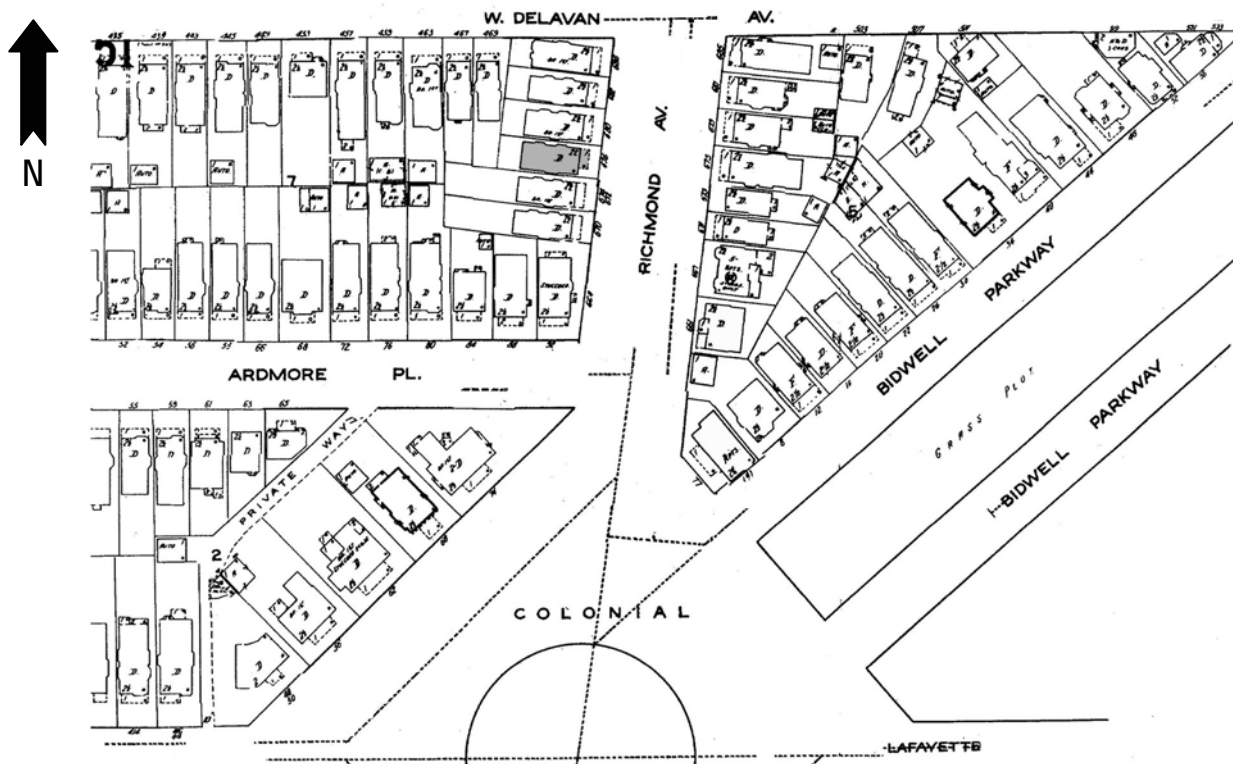
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 676 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence has suffered extensive alterations, the least of which is the changes in exterior fabrics. However, the general style is still discernable. Built for Alexander Fleming.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-4)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 680 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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The single-family house at 680 Richmond Avenue is set on a shortened rectangular lot, located on the west side of the street on the block between Ardmore Place and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

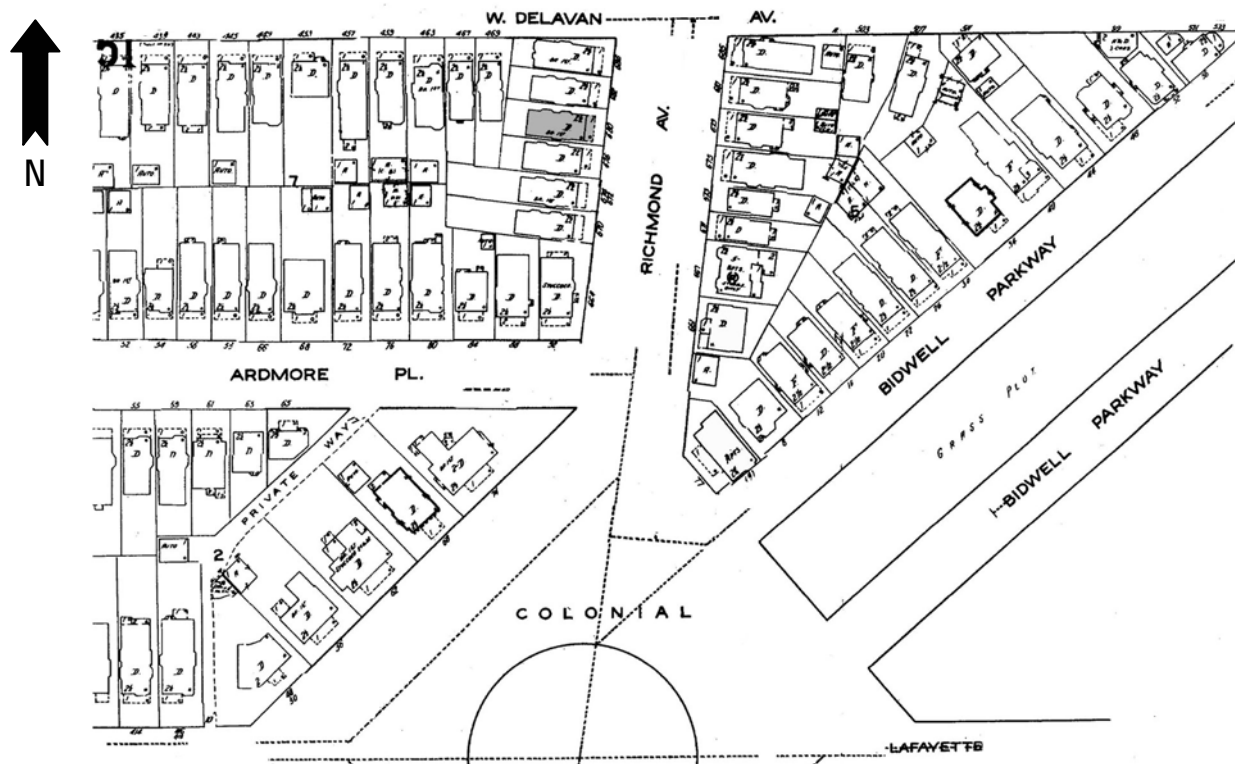
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, brick and frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 680 Richmond Avenue is significant as a **non-contributing** building to the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics to altered asbestos shingling, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-5)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 681 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1896

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stone facing

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 681 Richmond Avenue is set on a shortened rectangular lot, located on the east side of the street between Colonial Circle and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

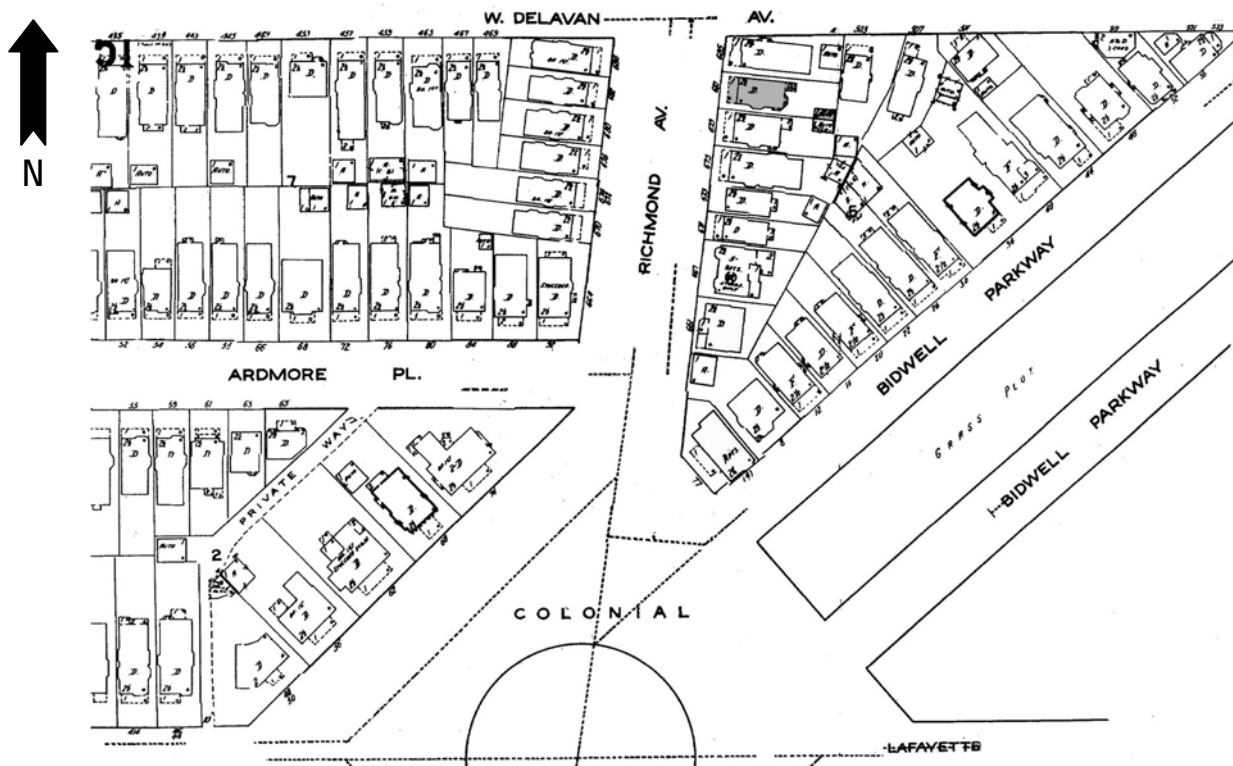
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of mixed period, modest Colonial and Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 681 Richmond Avenue is significant as a **non-contributing** building to the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains the majority of its initial styling and character. Built for M. J. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 682 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 682 Richmond Avenue is set on a shortened rectangular lot, located on the west side of the street on the block between Ardmore Place and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood.

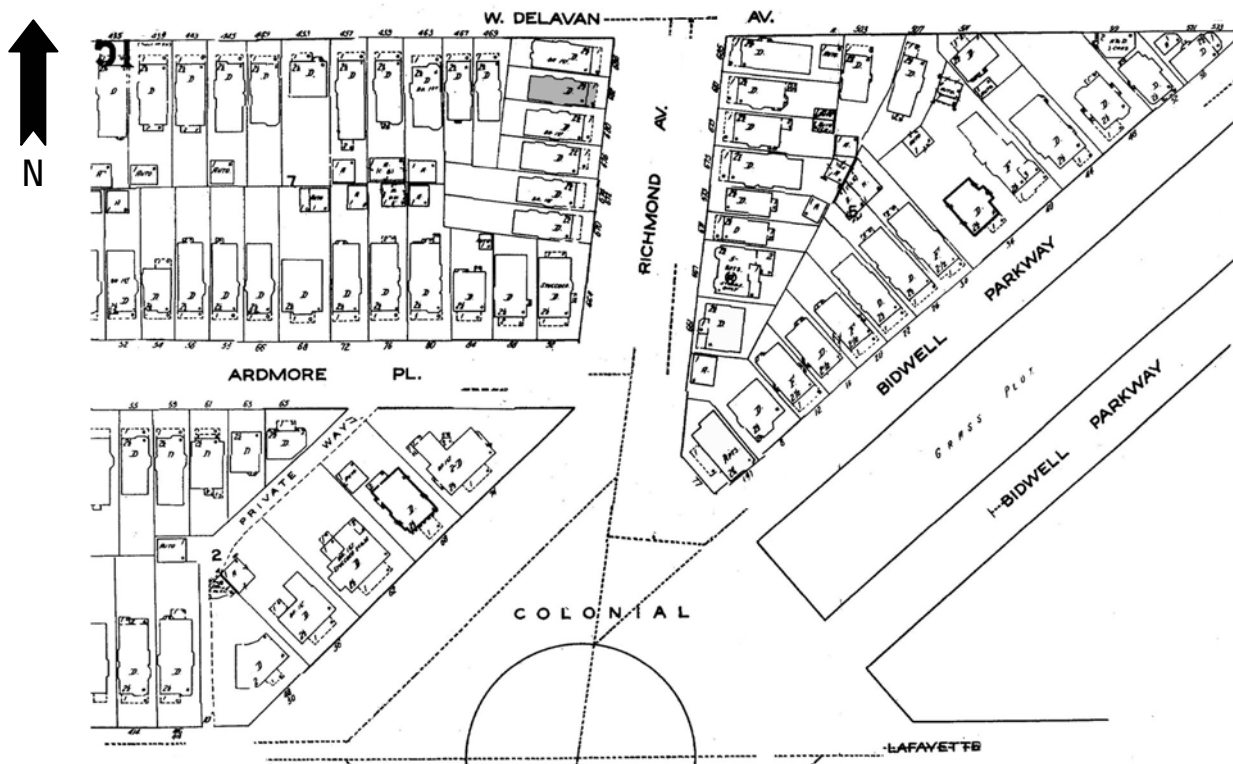
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 682 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics. Built for Alexander Fleming.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-6)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 685 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 685 Richmond Avenue is set on a slightly trapezoidal lot located on the east side of the street between Colonial Circle and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

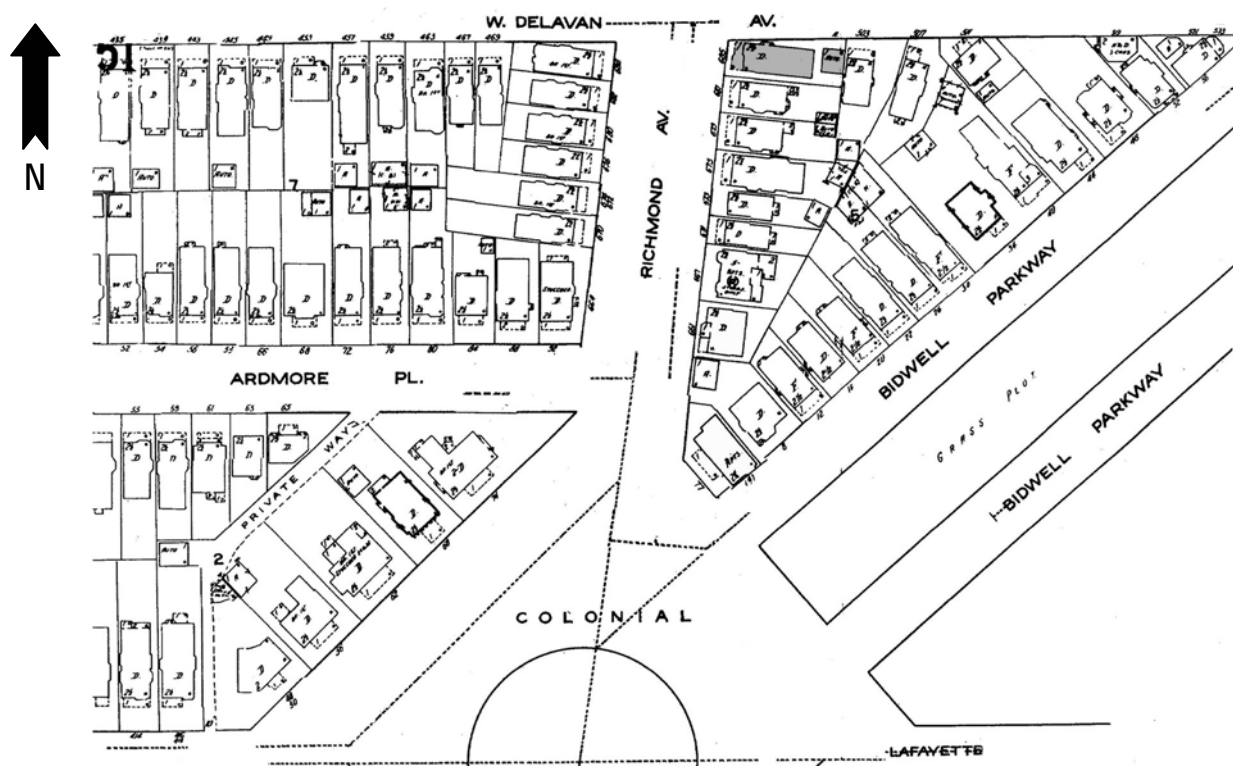
A two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. It has a rectangular plan. The façade has a full-width porch with patterned square columns, metal rail, modest frieze, and slight projection over the entry stair in the north. The main entrance is located in the north bay of the façade. A triple windowed polygonal bay occupies the south bay. The second floor façade has an open porch with metal rail and awning supports, a polygonal oriel with inset porch entrance in the south aligned over the lower bay, and a single window in the north bay. Two hipped roof dormers with paired window accents set spaced on the south roof slope. First-story polygonal bay with above metal railed and pilaster framed balcony. Two brick chimneys visible at the ridge. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest frieze, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 685 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. More styled than some, modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for Celina C. Killeen. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 686 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 686 Richmond Avenue is set on a short slightly trapezoidal corner lot, located on the west side of the street, at the north end of the block between Ardmore Place and West Delavan Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the east central section of the Grant-Ferry-Forest neighborhood

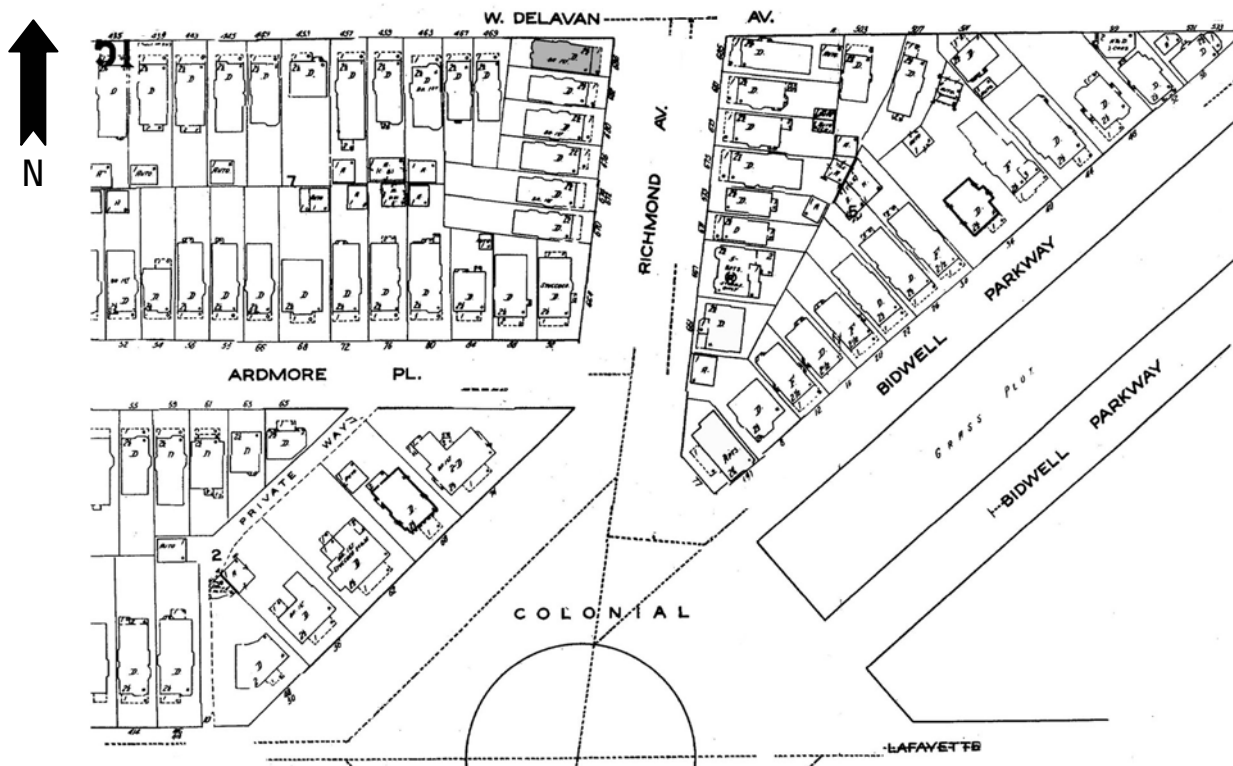
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, brick and frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 686 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains some of its initial modest styling and character. Built for Alexander Fleming.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-7)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 696 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 696 Richmond Avenue is set on a short slightly trapezoidal lot, lot located on the west side of the street, at the south end of the block between West Delevan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

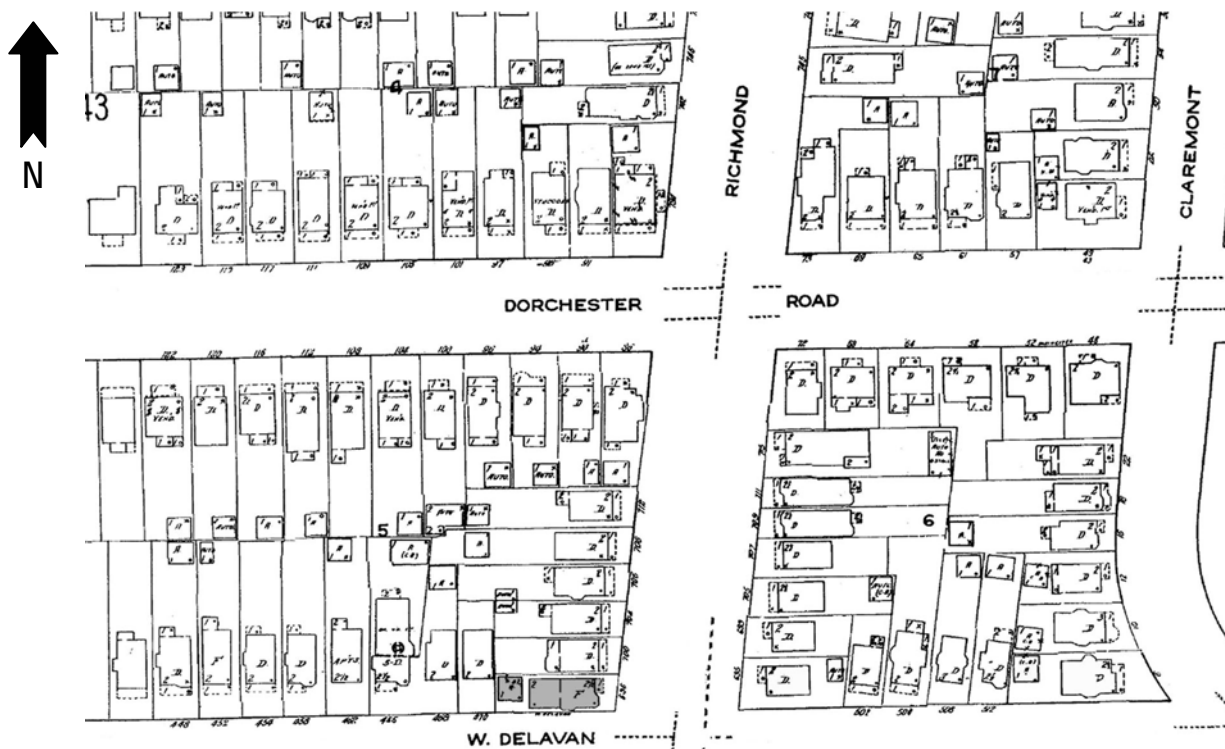
A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a 2/3-width porch to the north, with stone and concrete block square pillar supports, open wood rail, modest frieze and cornice, and an entry stair to the south. The main entrance is located off center to the north on the façade, under the porch. A single window sets in the far north bay, under the porch. The second floor façade has a 2/3-width, flat roofed, enclosed, living porch with paired window accents. A two-story polygonal bay defines the far south bay. The pent enclosed front gable end is punctuated by a framed Palladian-inspired triple window group. A shed roof dormer with window accents sets on the south roof slope. Two-story polygonal bay visible on the south elevation beneath the dormer; additional first-story projection further to the rear. Brick chimney visible on the south roof slope near the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved belt course, frieze, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 696 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for M.J. Hudson. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 700 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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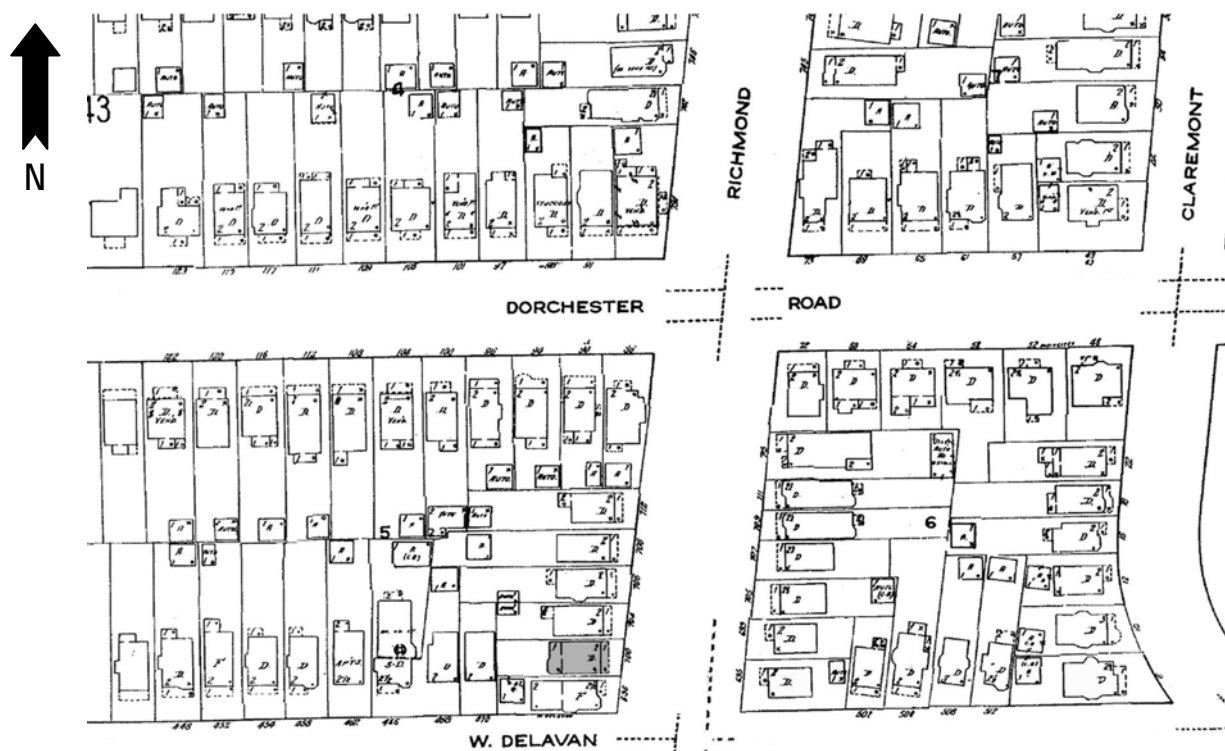
The single-family house at 700 Richmond Avenue is set on a short rectangular corner lot, located on the west side of the street on the block between West Delavan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

A two-story, hipped roof, urban, frame residence of simple mixed Queen Anne influenced styling. It has a regular rectangular plan. The façade has a full-width, hipped roof porch with metal rail and supports, plain frieze space, and an entry stair to the north. The framed main entrance is located in the north bay of the façade. A framed single window sets to the north of the entrance, in the far side bay. A triple window group occupies the south bay. The second floor façade is defined by a triple windowed polygonal oriel in the north bay and a curved oriel with single window accent in the south bay. A gabled dormer accented by a triple window group with latticed panes sets on the front roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional details include simple corner boards, slight extended eaves, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 700 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of simple mixed Queen Anne influenced styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for M. J. Hudson. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-9)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 704 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 704 Richmond Avenue is set on a shortened slightly trapezoidal lot, located on the west side of the street on the block between West Delavan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

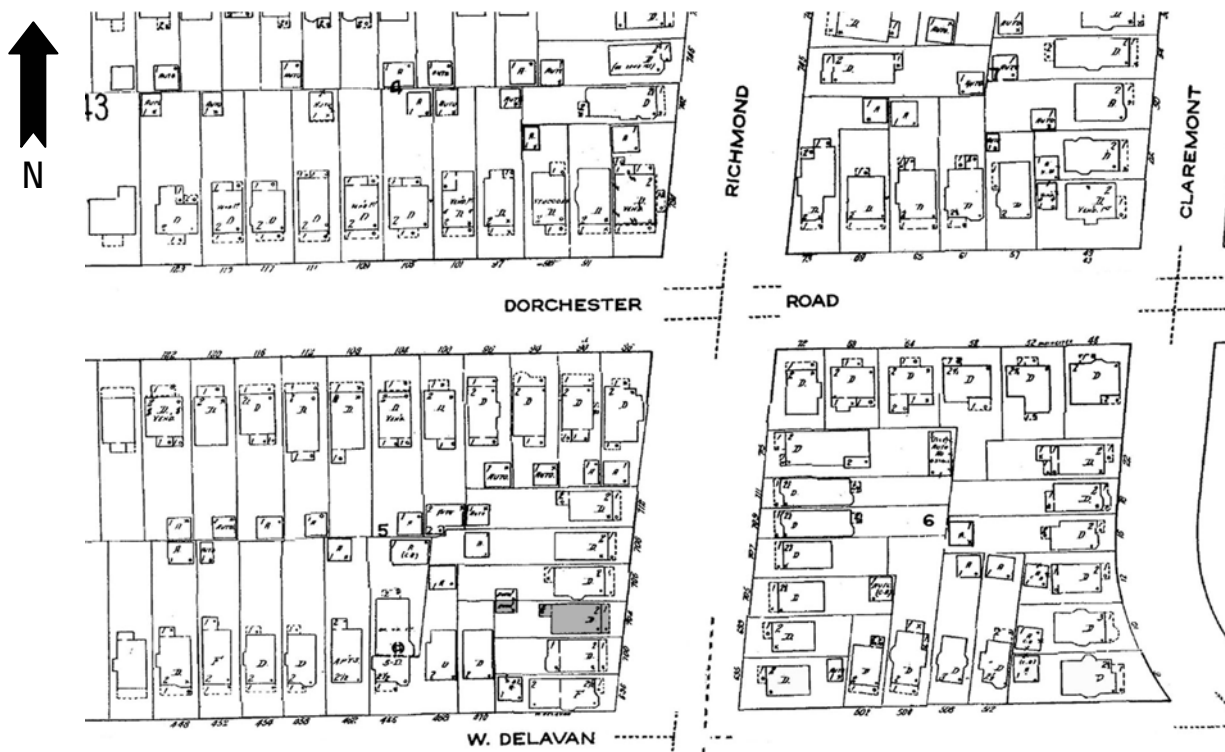
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 704 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics to altered asbestos shingling, the residence retains some of its initial styling and character. Built for C.M. Weston.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 706 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 706 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between West Delavan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

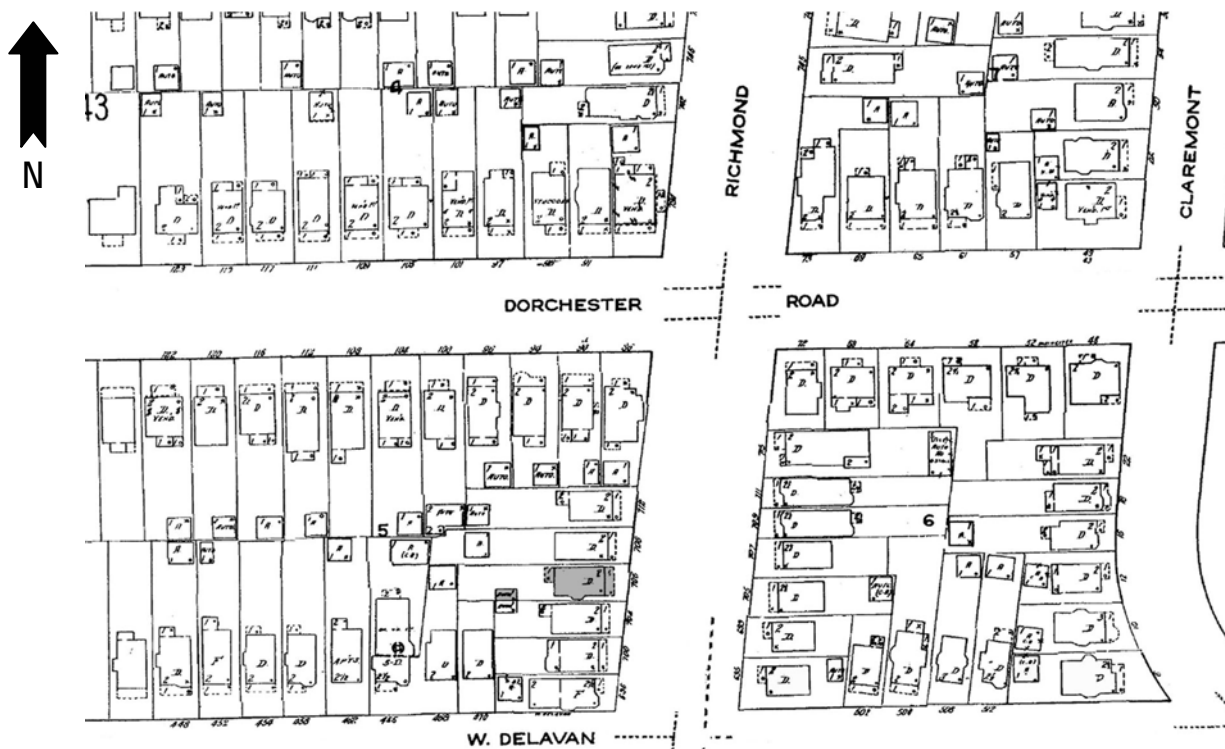
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 706 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains its initial styling and character. Built for Josiah Grover.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-11)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 708 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 708 Richmond Avenue is set on a long slightly irregular lot, located on the west side of the street on the block between West Delavan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

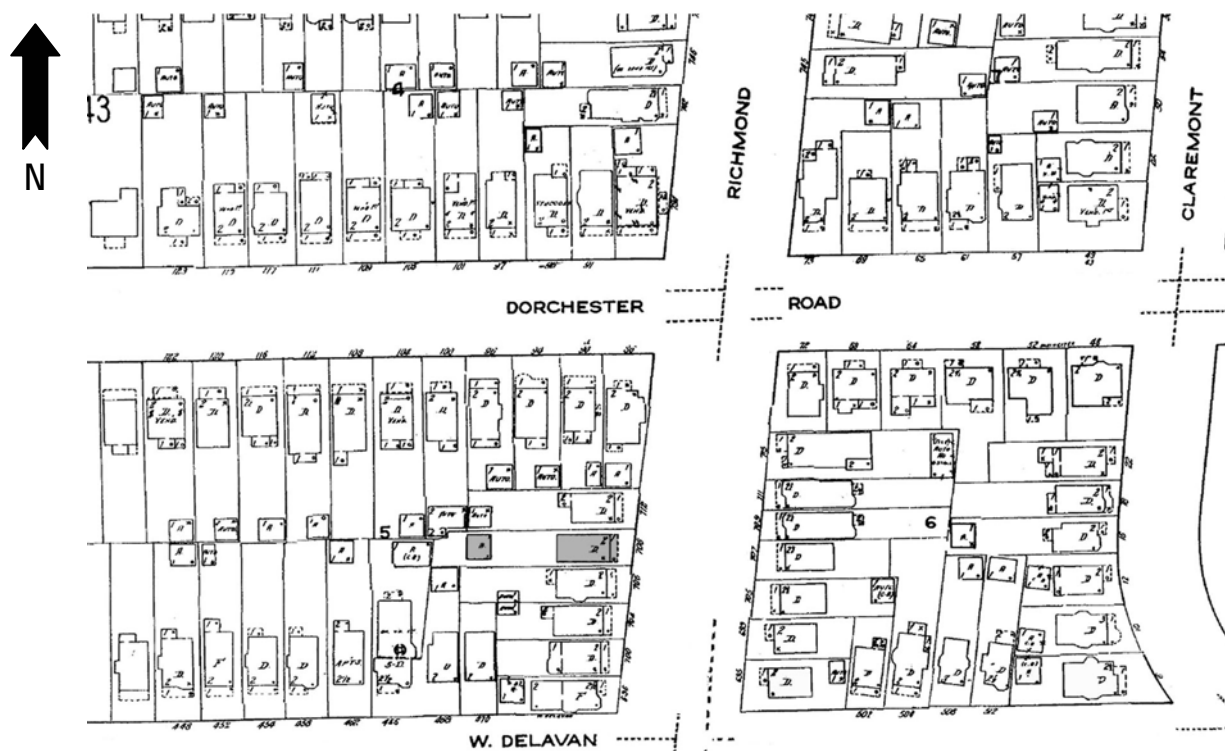
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 708 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 709 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

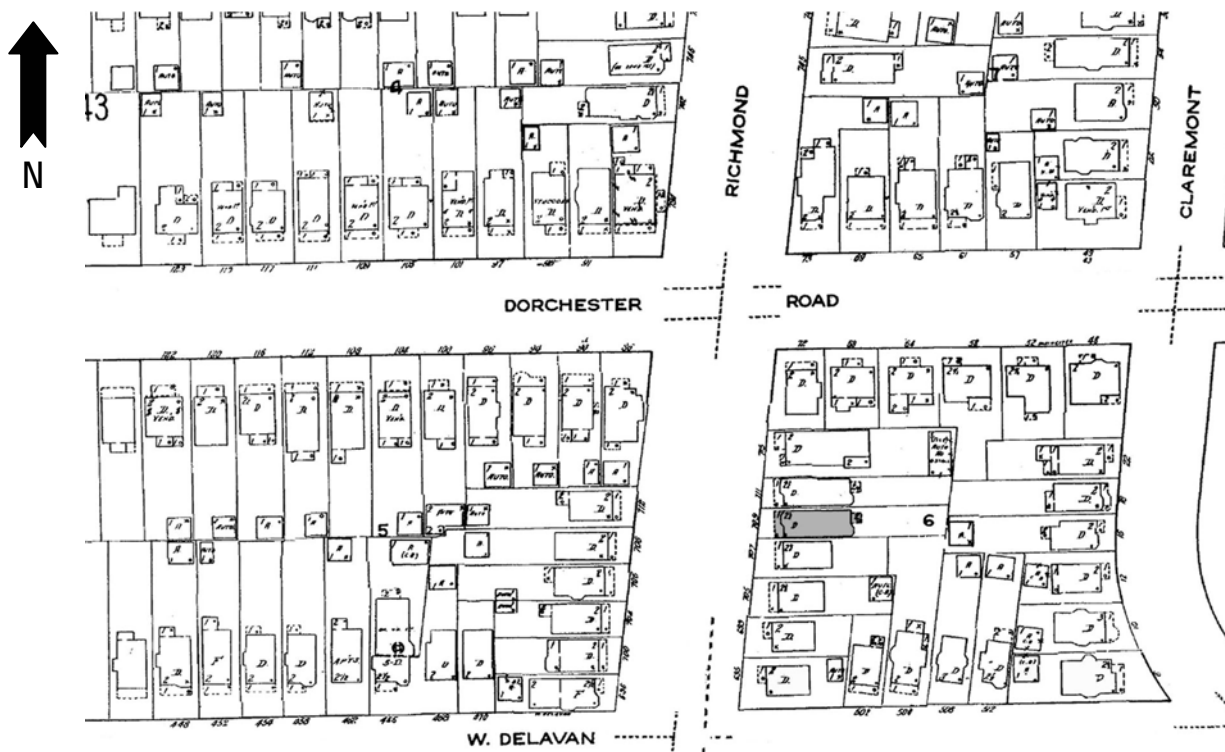
The two-family house at 709 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between West Delavan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width porch with patterned square columns, metal rail, modest frieze, and an entry stair in the south. The modestly enframed and sidelighted main entrance is located in the south bay of the façade. A triple windowed polygonal bay occupies the north bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the south bay aligned over the main entrance, and a triple windowed polygonal oriel in the north. The pent enclosed front gable end is punctuated by a Palladian window. Brick chimney visible to the rear on the south roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1 and 4/1 lights and fixed. Additional detailing includes modest corner boards, frieze, brackets, framing, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 709 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for John F. Klopp. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-14)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 712 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known W. H. Lester (builder) Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: façade fire escape Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 712 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between West Delavan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

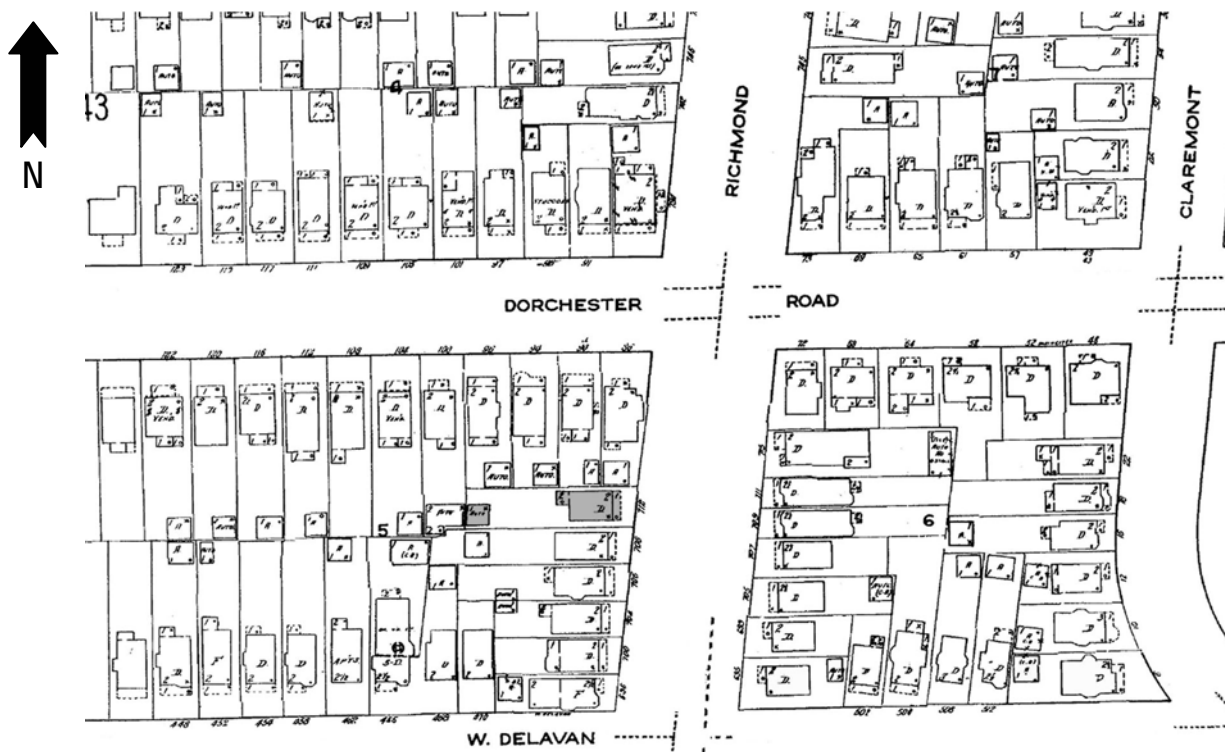
A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width flat roofed porch with metal rail and supports, modest frieze, and an entry stair in the north. Two main entrances are located in the north bay of the façade, set within a ½-width enclosed rectangular vestibule. A large framed single window with transom sets in the south bay. The second floor façade is defined by matching triple windowed polygonal oriels in either side bay. The pent enclosed front gable end is punctuated by a window group and connected entrance that leads to a modern metal fire escape that extends down to the porch roof. A pedimented dormer with paired window accent sets on the south roof slope. Roofed first-story polygonal bay visible on the south elevation. Exterior brick chimney visible to the front on the south slope and elevation; additional brick chimney visible at the rear near the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner pilasters, frieze, lookouts, framing, and trim

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 712 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Percy W. Darby. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-13)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 715 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 715 Richmond Avenue is set on a wide standard lot, located on the east side of the street on the block between West Delavan Avenue and Dorchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

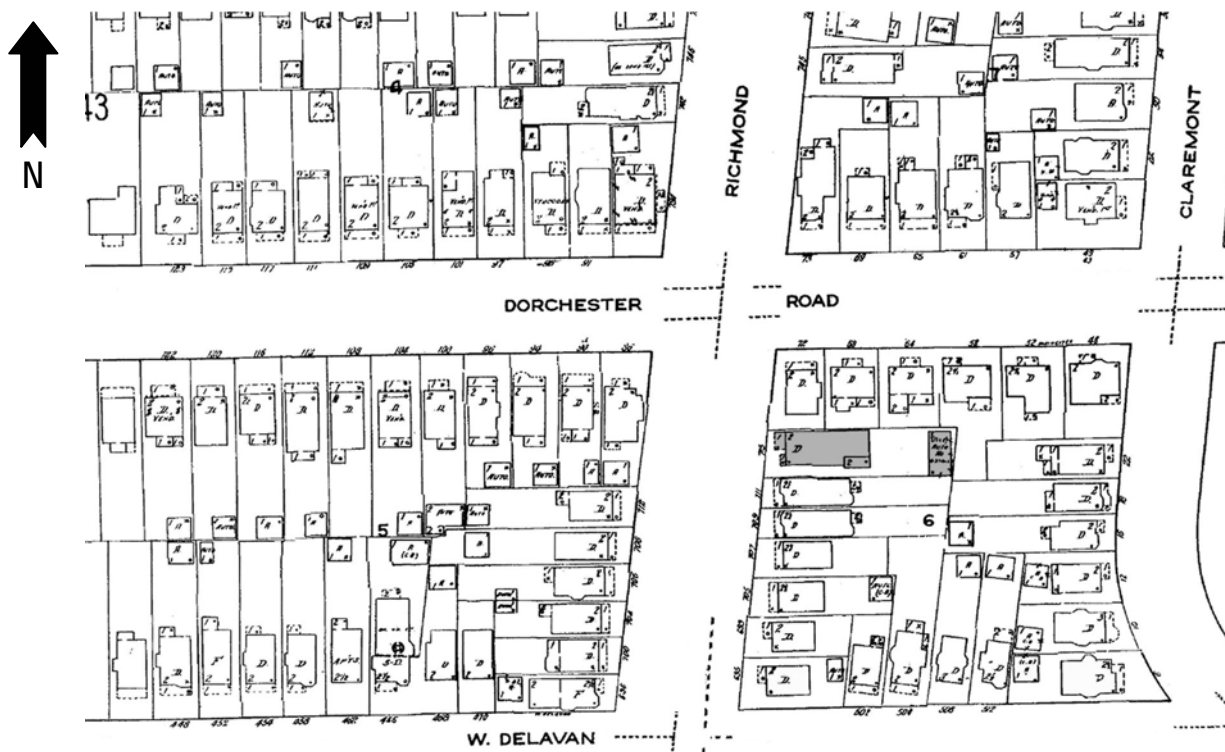
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of modest mixed period Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 715 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-13)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 742 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 742 Richmond Avenue is set on a standard lot, located on the west side of the street on the block between Dorchester Road and Potomac Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

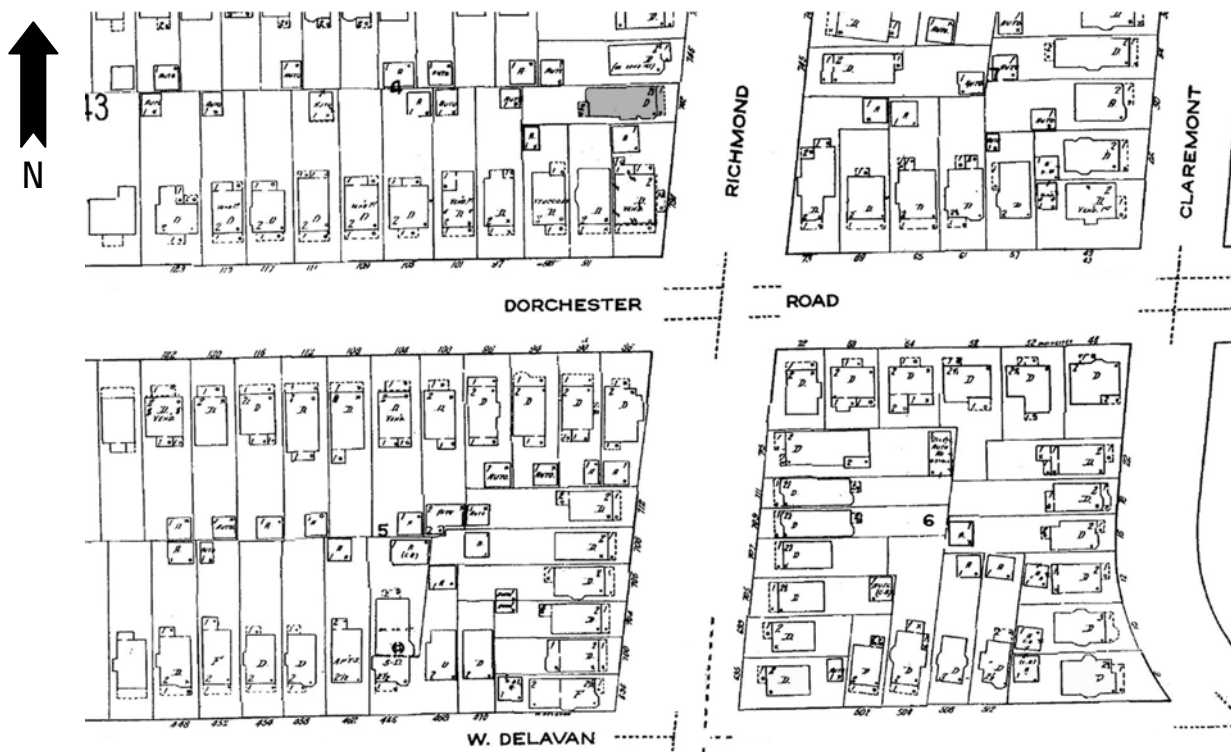
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 742 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 746 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Stephen R. Berry Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and half-timbering

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 746 Richmond Avenue is shortened standard lot, located on the west side of the street on the block between Dorchester Road and Potomac Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

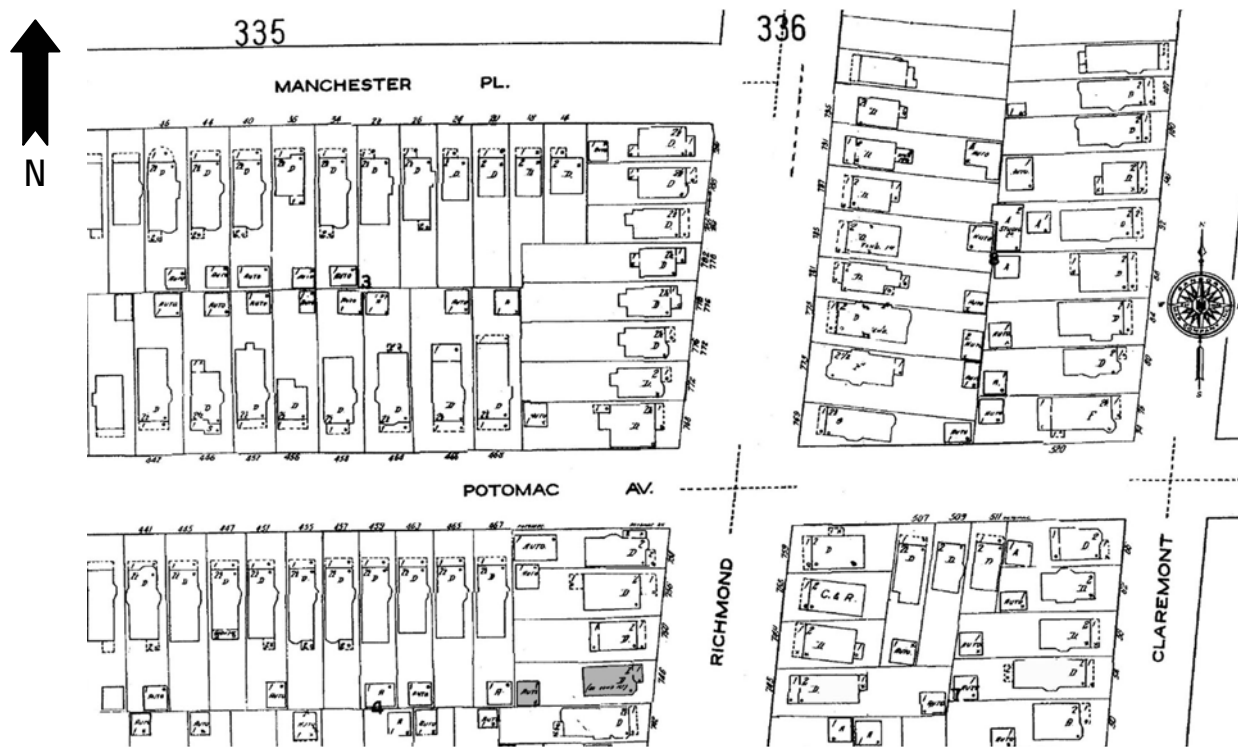
A two-and-one-half story, front gabled, urban, brick and frame, modest Queen Anne residence with half-timbered styling. It has a rectangular plan. The façade has a ½-width, hipped roof, enclosed porch with brick base, upper with windowing spaced by ¾-height pilasters, modest molded frieze, and pediment in the south. The main entrance is located on the façade of the porch, beneath the pediment and reached by an entry stair. A two-story polygonal bay defines the south bay. The second floor façade has a paired window in the north bay. The closed and slightly projecting front gable end is punctuated by a quartet ribboned window group with latticed panes. A gabled dormer with single window accent sets on the south roof slope. Roofed first-story polygonal bay visible on the south elevation. Exterior brick chimney visible to the front of the dormer on the south slope. Exterior wall fabric is brick on the lower story, with stucco and half-timbered upper. Fenestration is one-over-one and nine-over-one double-hung wood sash and fixed with multi-paning; sills and keystone lintels on the lower-story. Additional detailing includes modest belt course and bracketing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 746 Richmond Avenue is significant as a good representative example of an architect designed, two-and-one-half story, front gabled, urban, brick and frame, modest Queen Anne residence with half-timbered styling. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Charles J. Smith. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-15)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 749 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known E.F. & W.S. Date of construction, if known 1903

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 749 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Dorchester Road and Potomac Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

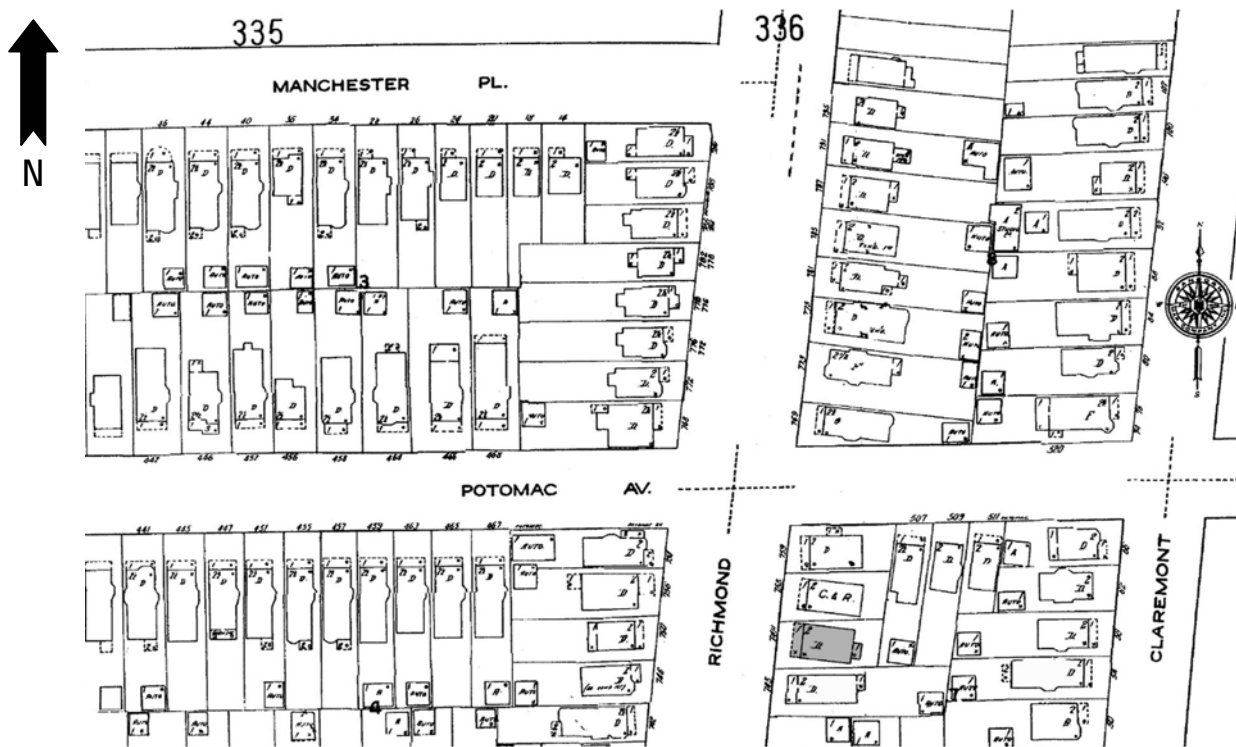
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of modest period Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 749 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains some of its initial styling and character, despite the changes in exterior fabrics. Built by E.F. & W.S. for William G. Staniland.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 750 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

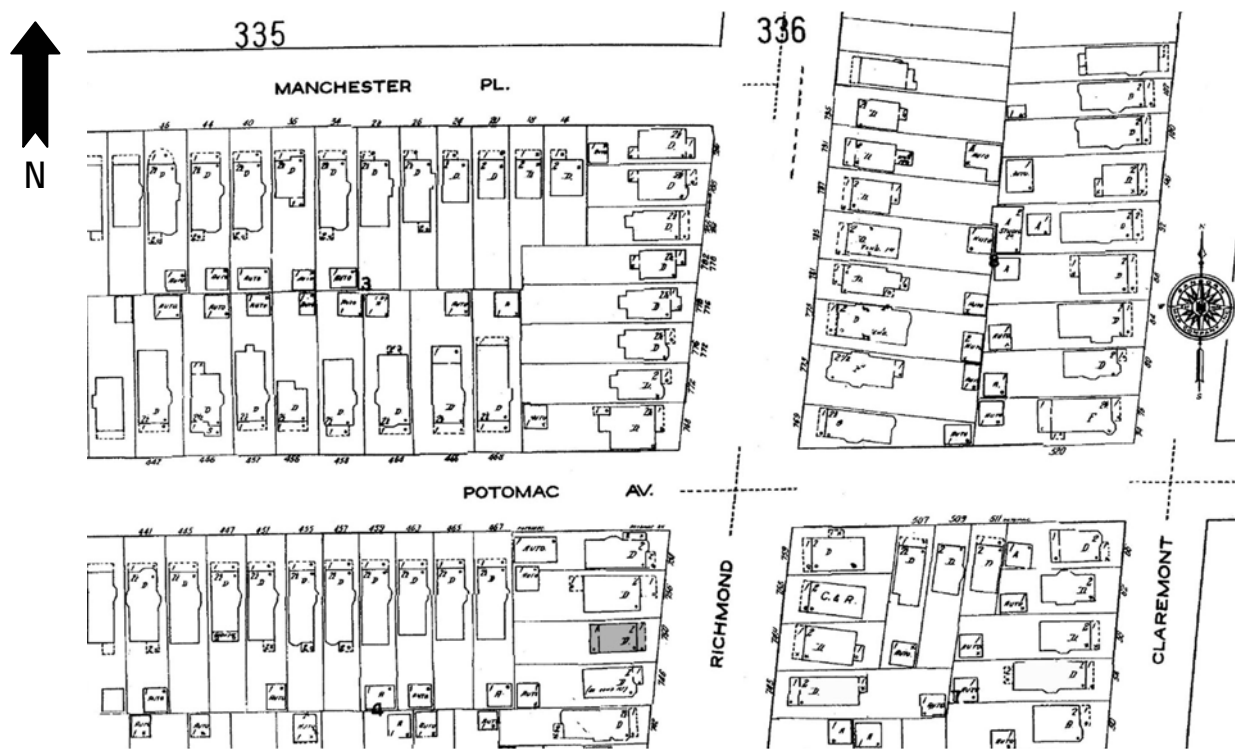
The building at 750 Richmond Avenue is set on a rectangular lot located on the west side of the street between Dorchester Road and Potomac Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

A two-story, hipped roof, urban, frame residence of simple period Queen Anne styling. It has a rectangular plan. The façade has a ½-width, shed roof porch to the north, with slender square column supports, open wood rail, and pediment in the south over a railed entry stair. The enframed main entrance is located in the north bay of the façade, under the porch. A framed single window sets to the north of the entrance, in the far side bay under the porch. A triple window group sets in the south bay. The second floor façade has a triple windowed polygonal oriel in the north and a single window in the south bay. A pedimented dormer with subtly projecting triple window accent sets on the front roof slope. Additional side entrance visible on the north elevation; roofed rectangular oriel further to the rear on the south elevation. Shed roof first-story extension at the rear. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, lookouts, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 750 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of simple period Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for Cora B. Capon. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-16)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 756 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☒ excellent ☐ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 756 Richmond Avenue is set on a shortened slightly irregular lot, located on the west side of the street on the block between Dorchester Road and Potomac Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

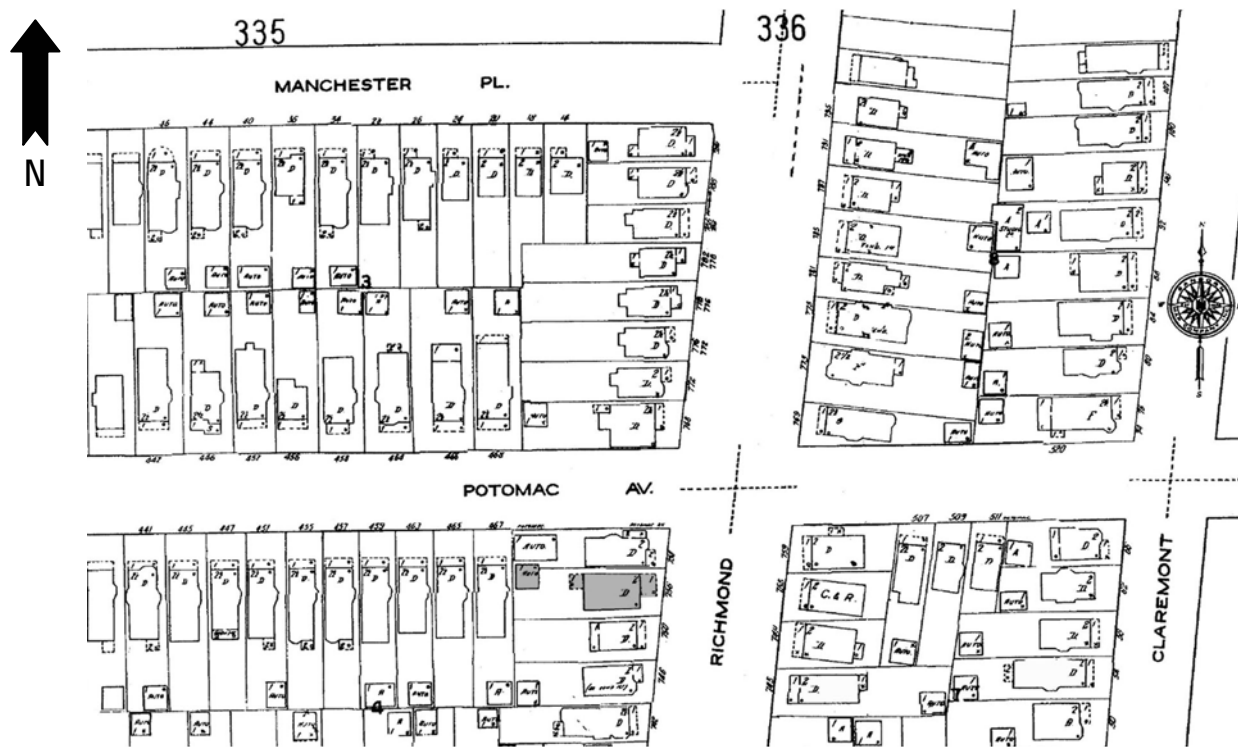
A two-and-one-half story, front gabled, urban, frame residence of Greek Revival influenced styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a 2/3-width, flat roofed, enclosed porch to the north, with low wood paneled base, continuous multi-paned windowed upper, engaged corner columns, and large entablature. The main entrance is located in the north bay of the porch façade and reached by a stair. A large framed single window sets in the south bay. The second floor façade is defined by even, framed single windowing. The open front gable end is punctuated by a framed triple window group with latticed panes. Several brick chimneys visible. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes large corner pilasters, frieze, end returns, and trim with molding.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 456 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Greek Revival influenced styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Louise Snyder. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 758 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 758 Richmond Avenue is set on a shortened slightly irregular corner lot, located on the west side of the street, at the north end of the block between Dorchester Road and Potomac Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

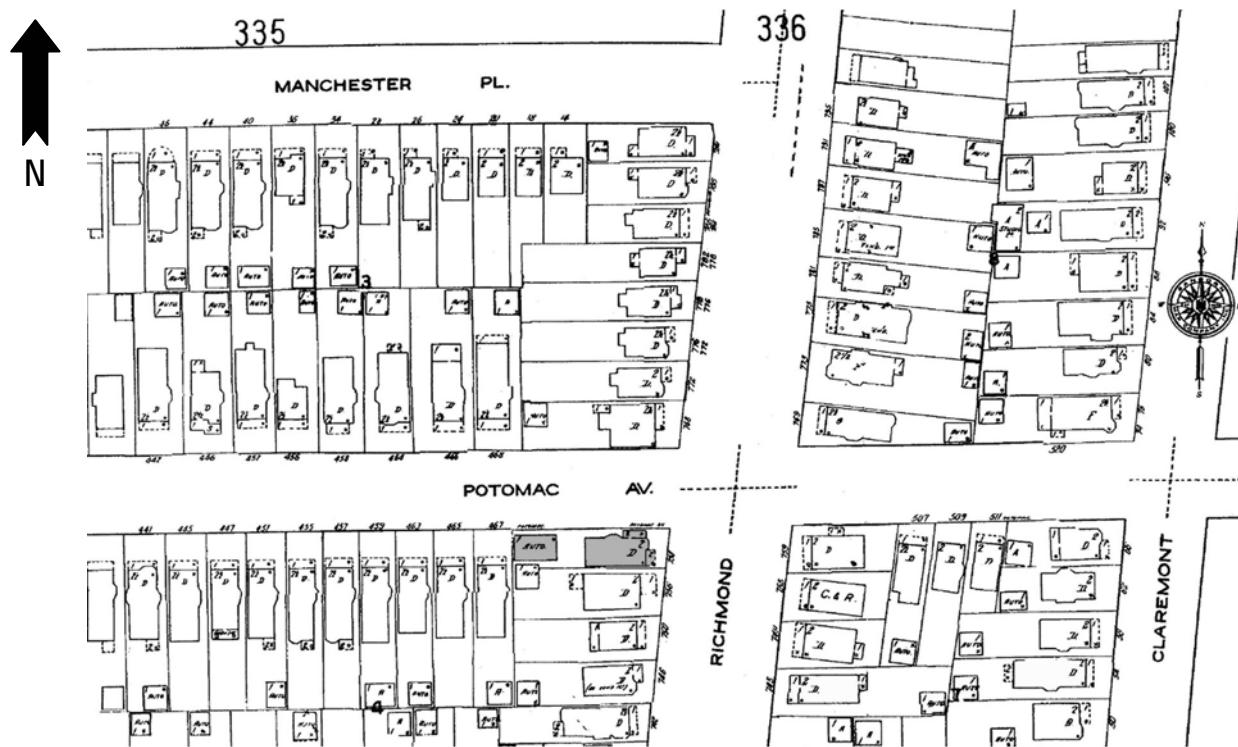
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 758 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its general style and character, despite the changes in exterior fabrics. Built for Agnes B. Mings.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-18)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 768 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Ensenwein & Johnson Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 768 Richmond Avenue is set on a short corner lot, located on the west side of the street on the south end of the block between Potomac Avenue and Manchester Place. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

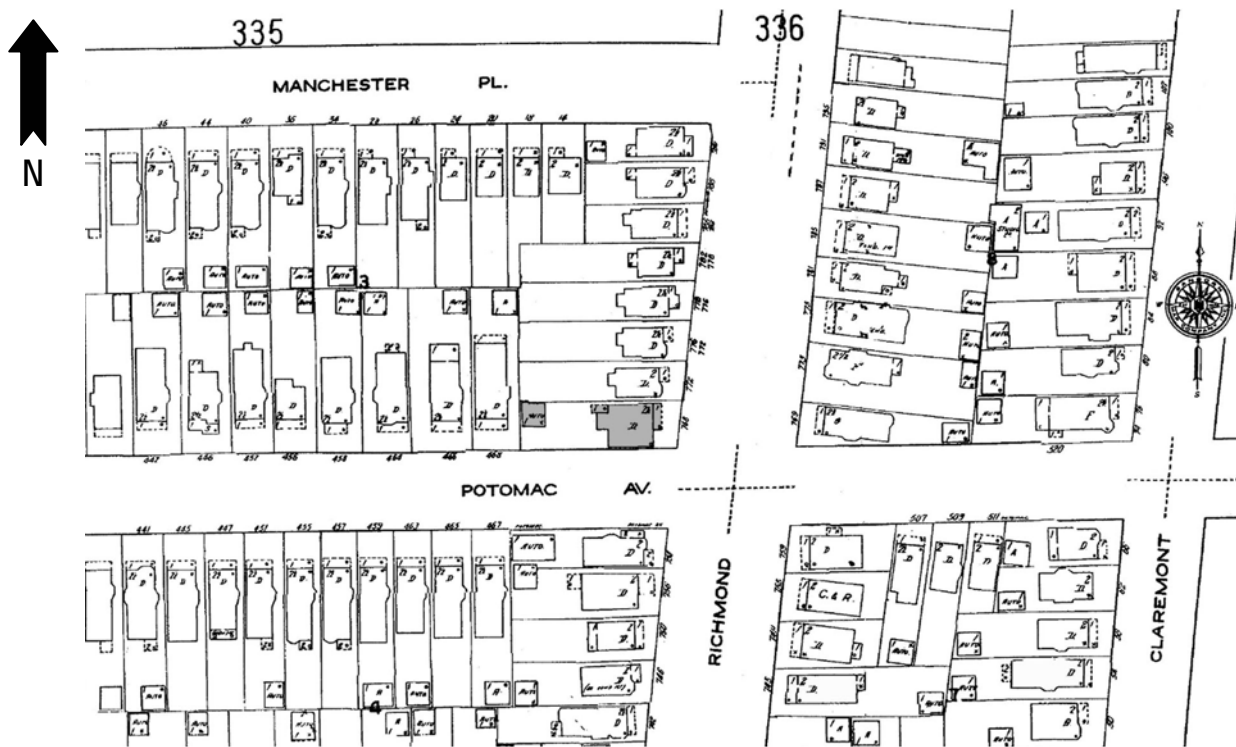
A two-and-one-half story, side gabled, urban, frame residence of moderate mixed Colonial Revival styling. It has a roughly squared plan and is set on a stone foundation. The façade has a 2/3-width flat roofed porch to the north, with square column supports, spindled wood rail, modest frieze, and a central railed entry stair. The enframed and sidelighted main entrance is located centrally on the façade, under the porch. A single window sets to the north of the entrance, in the far side bay under the porch. A triple window group sets in the south bay. The second floor façade is defined by a central window and a paired window set in either side bay. Three pedimented dormers with arched single window accent set evenly spaced on the front roof slope. Open side gable ends with end returns; south gable end accented by fanlight windowing bisected by a visible brick chimney. Rear section not included under the main side gable; additional dormer on the rear south slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1, 8/1, and 8/8 lights and fixed with multi-paning. Additional detailing includes simple belt course, frieze and cornice, and trim.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 768 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of moderate mixed Colonial Revival styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for John G. Greey. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 772 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

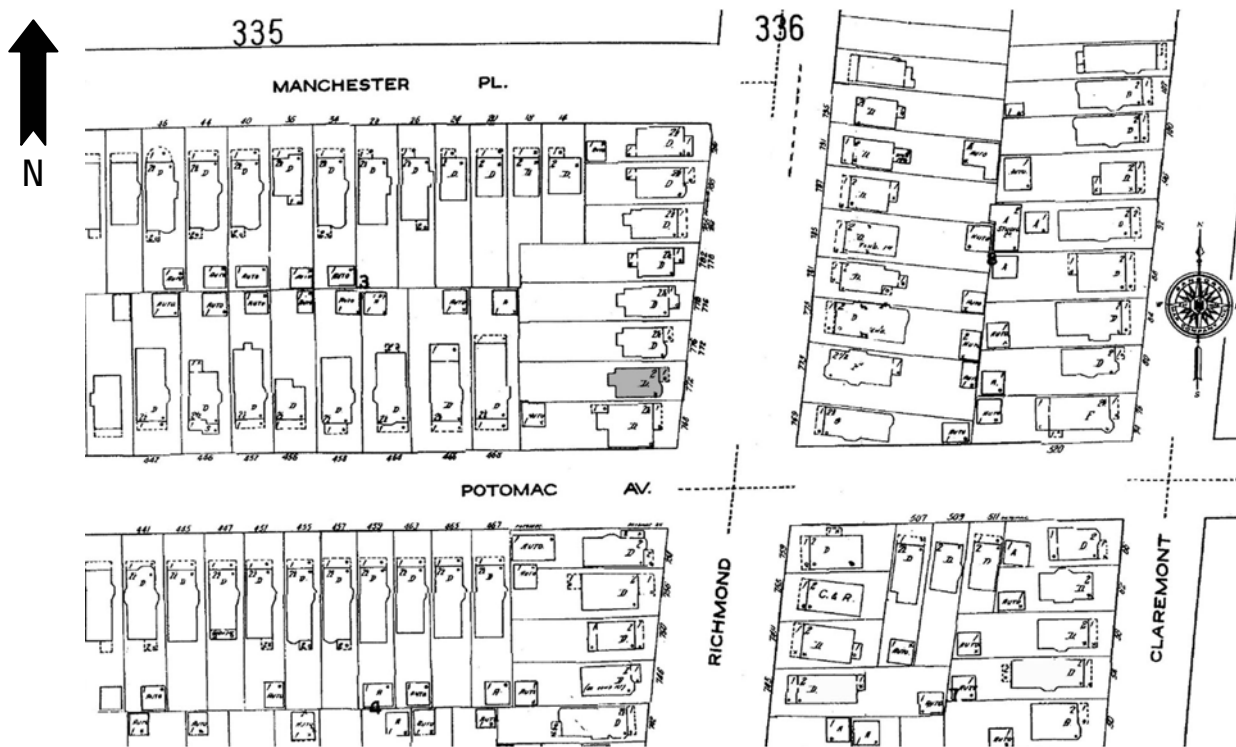
The single-family house at 772 Richmond Avenue is set on a short slightly trapezoidal lot, located on the west side of the street on the block between Potomac Avenue and Manchester Place. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

A two-and-one-half story, side gabled, urban, frame residence of mixed period, Colonial influenced styling. It has a rough rectangular plan. The façade has a 1/2-width, hipped roof, enclosed porch to the north. The main entrance is located on the south face of the porch reached by a metal railed entry stair; a large central window with multiple panes accents the façade. A triple windowed polygonal bay sets in the south bay, beneath the slightly projecting upper stories. The second floor façade has a single window in the north bay and a paired window in the south. The front roofline is interrupted and defined by a large gabled wall dormer in the south, with end returns and a triple window group accent; peak closed and raised. A small pedimented dormer with single window accents sets on the remaining north portion of the front roof slope. Open side gable ends with windowing. Exterior brick chimney visible just to the front of the ridge, on the south elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1, 4/1, 6/1, and 8/1lights and fixed with multi-paning. Additional detailing includes simple belt course, framing, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 772 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of mixed period, Colonial influenced styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for James Newton. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-20)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 773 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 773 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

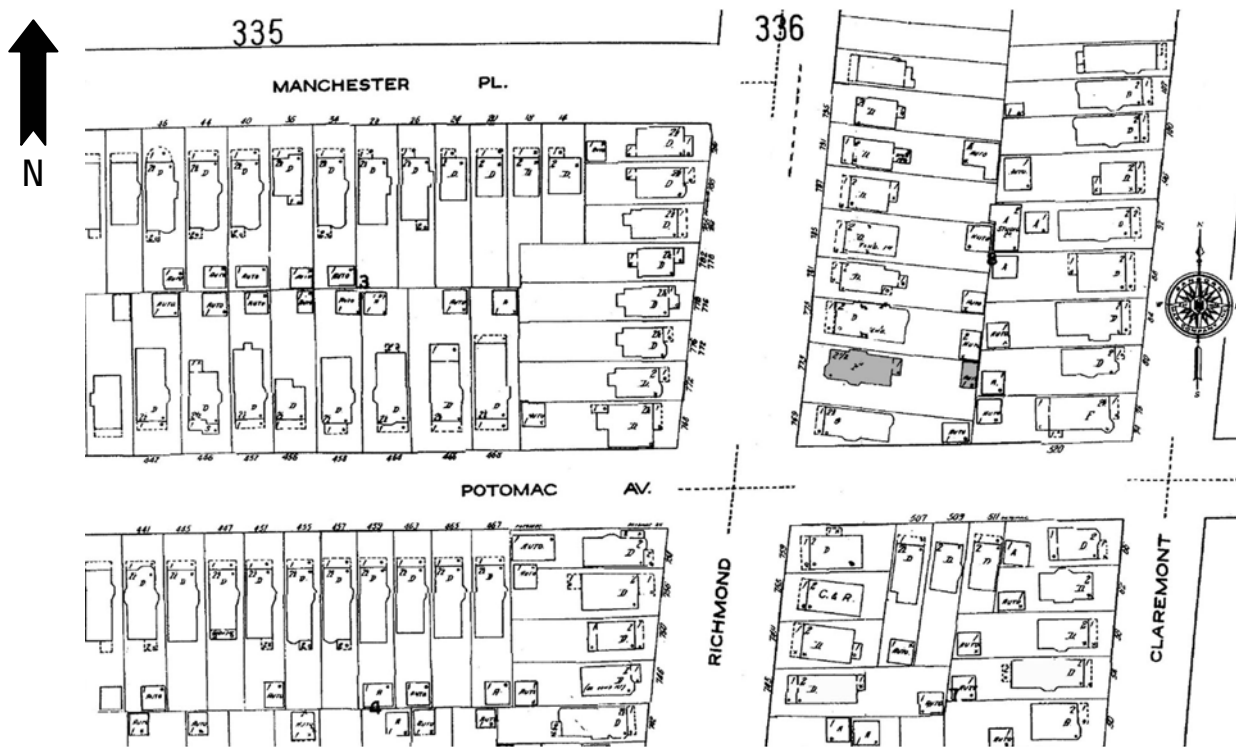
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 773 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains its initial styling and character.

MAP: Sanborn Map (Revised 1886) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-22)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 775 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Stephen R. Berry Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

## PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 775 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between and Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

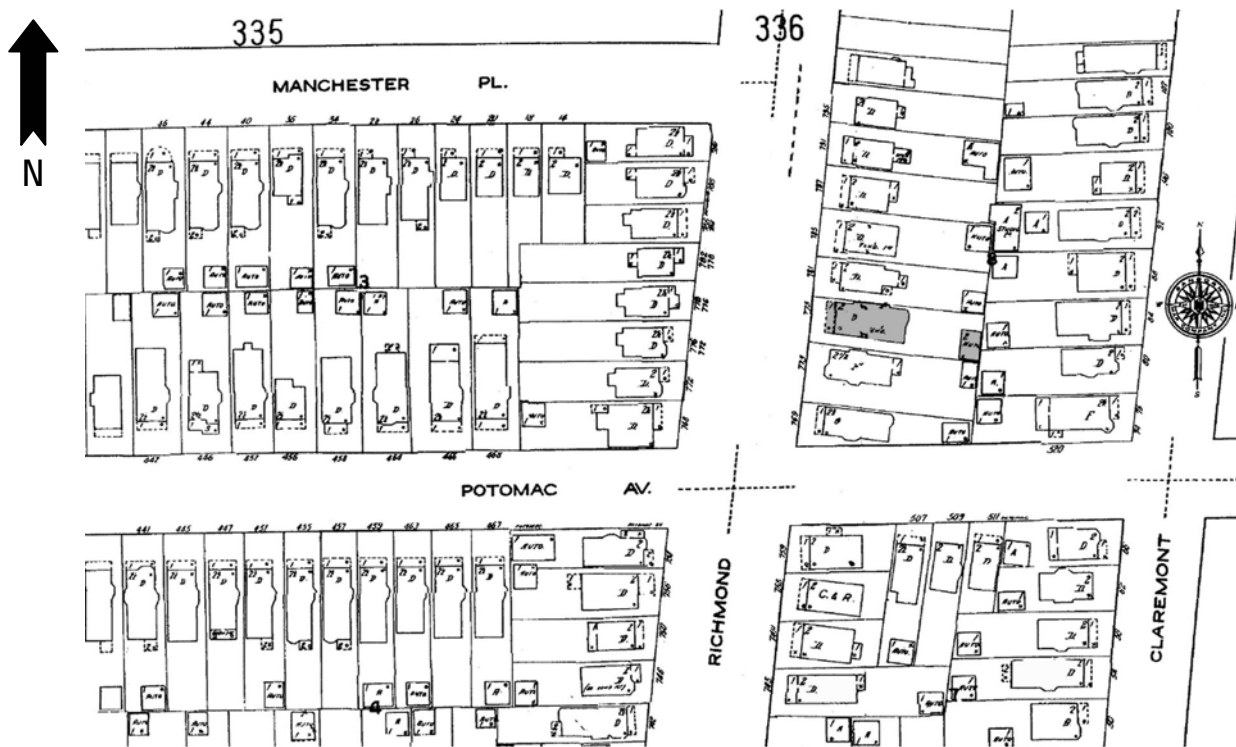
A two-story, hipped roof, urban, brick residence of mixed period styling. It has a rectangular plan. The façade has a full-width porch with ¾-height fluted column supports set atop stone capped solid brick rail, large entablature with extensive molding, and an entry stair in the north. The main entrance is located in the north bay of the façade, within a shallow vestibule. A single window sets to the north of the entrance, in the far side bay; a similar single window sets to the south. A rectangular bay with large window accent occupies the south bay of the façade. The second floor façade has an open porch with ½-height posts and open wood rail, a porch entrance in the north aligned over the main entrance, and a curved oriel in the south bay. A hipped roof dormer accented by a triple window group sets on the front roof slope. A similar dormer sets on the south roof slope. Exterior brick chimney visible on the south slope and elevation to the front of the dormer. A modest roofed rectangular oriel sets at the front on the south elevation. Exterior wall fabric is brick. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional leading and multiple panes; sills and lintels noted. Additional details include slightly extended eaves with exposed rafter tails, wide frieze, and simple framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 775 Richmond Avenue is significant as a good representative example of an architect designed, two-story, hipped roof, urban, brick residence of mixed period styling. Modestly styled singles and doubles of the prevailing trends were common housing for families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. Built for William P. Volgamore. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-22)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 776 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 776 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Potomac Avenue and Manchester Place. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

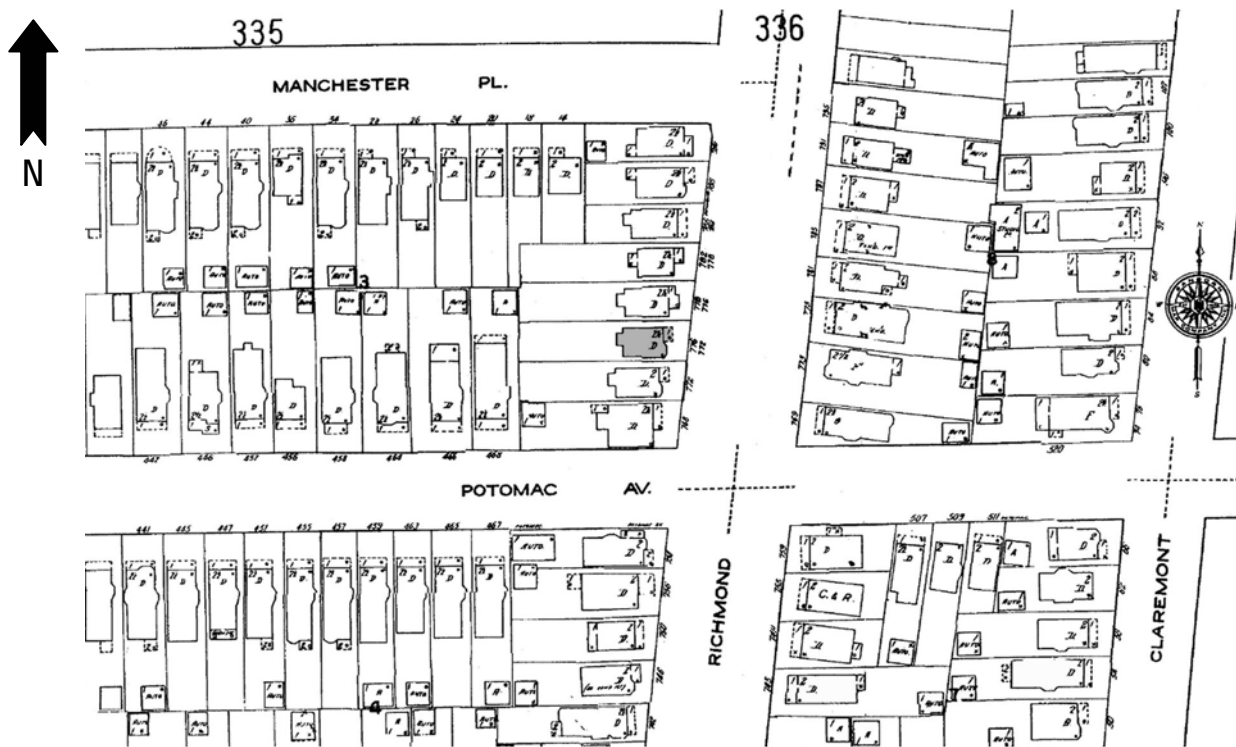
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, brick residence of mixed period styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 776 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-21)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 778 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single-family house at 778 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Potomac Avenue and Manchester Place. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

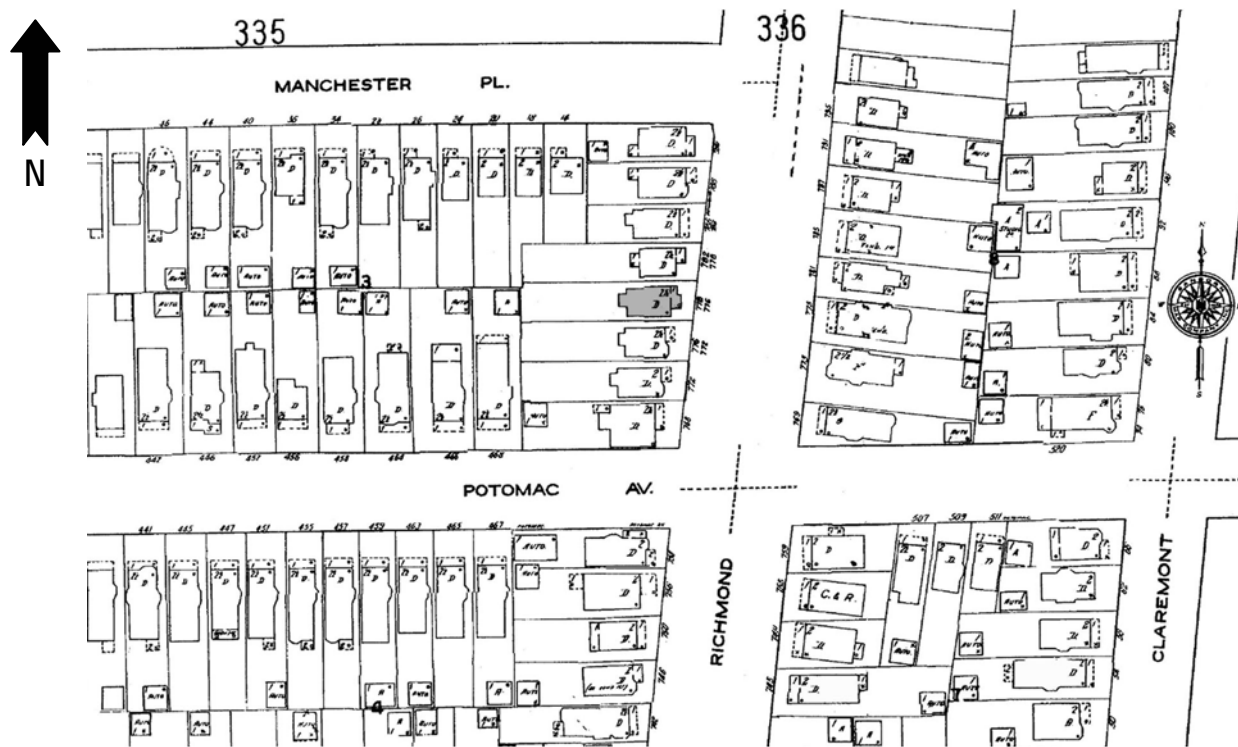
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of mixed period, Colonial influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 778 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite changes in exterior fabrics, the general style is still discernable. Built for James Newton.

MAP: Sanborn Map (Revised 1886) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-22)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 782 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

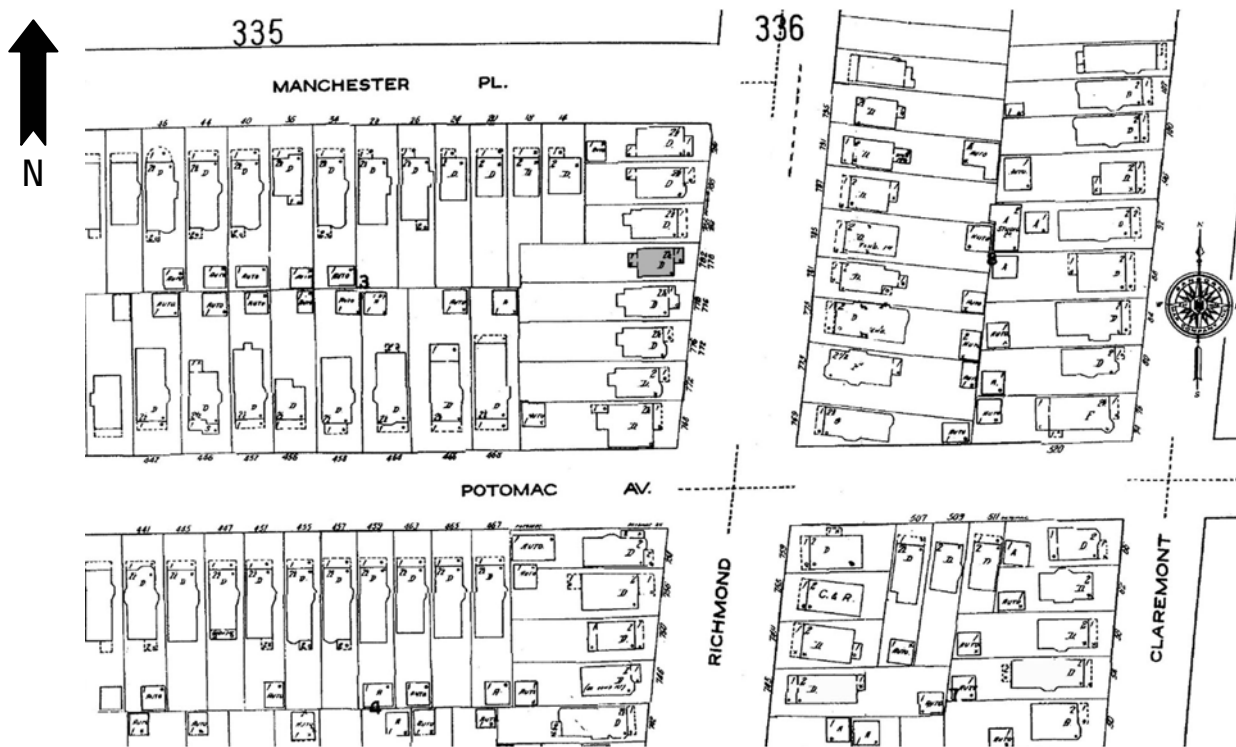
The two-family house at 782 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Potomac Avenue and Manchester Road. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of Queen Anne influenced style. It has a rough squared plan. The façade has a full-width hipped roof porch with square columns, open wood rail, slight extended eaves, modest frieze with molding, and a railed entry stair to the north. Two main entrances are located in the north bay of the façade. A framed triple window group sets in the south bay. The second floor façade is defined by paired windows set centrally in either side bay. The open front gable end is punctuated by a Palladian window. A gabled wall dormer sets on the north roof slope; dormer projects slightly, extending through the roofline and continuing with a lower rectangular oriel on the south elevation. Brick chimney visible high on the south slope to the front of the dormer. Exterior wall fabric is wood clapboard and shingle. Fenestration is double-hung wood sash with 1/1, 6/1, and 9/1 lights and fixed. Additional detailing includes simple corner boards, verge boards, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 782 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Queen Anne influenced style. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Arthur C. Anderson. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-23)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 785 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1903-1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 785 Richmond Avenue is set on a widened standard lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

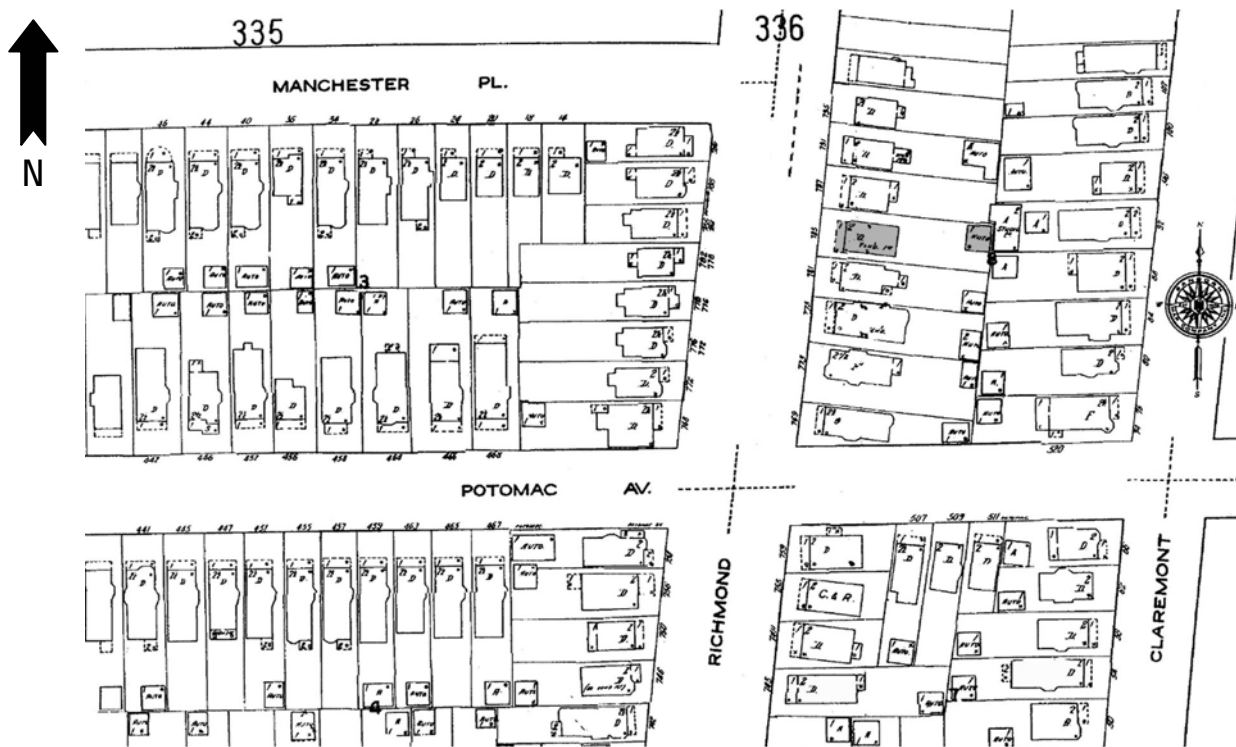
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of Queen Anne influenced style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 785 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains much of its initial styling and character. Built for Henry J. Jaeger.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-25)









## HISTORIC RESOURCE INVENTORY FORM

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& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 786 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

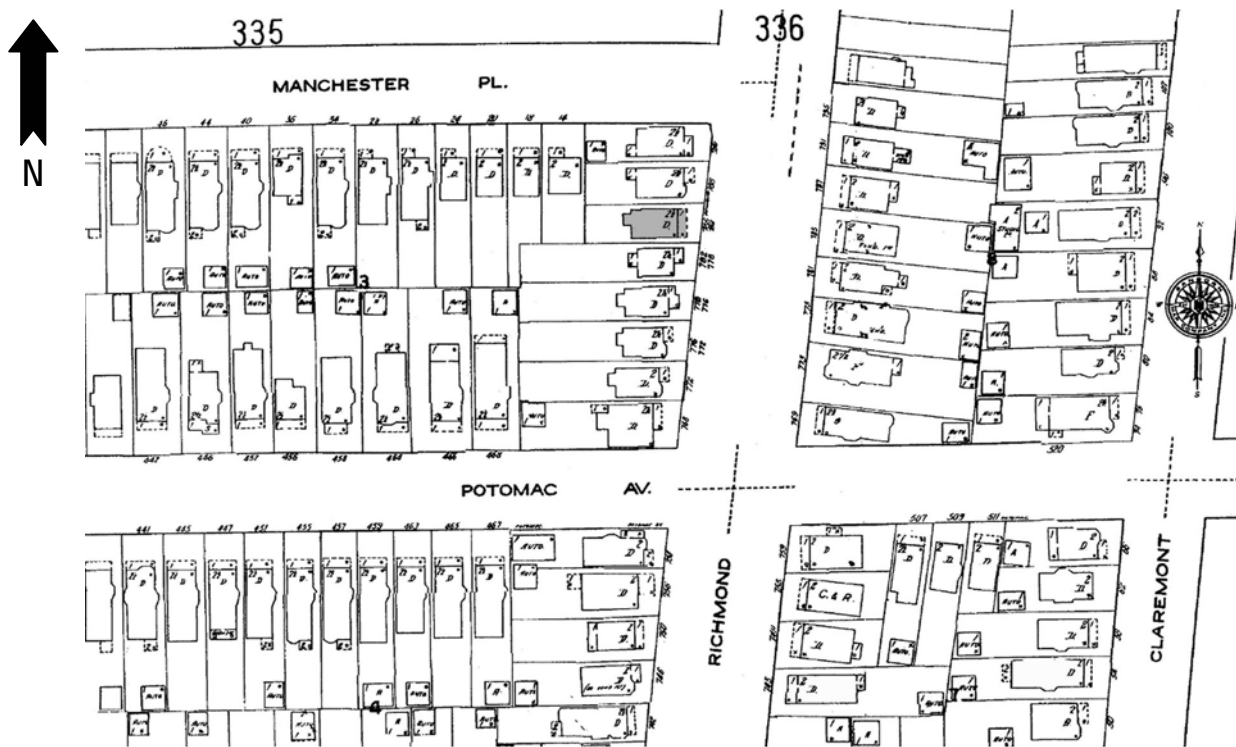
The single-family house at 786 Richmond Avenue is set on a shortened slightly trapezoidal lot, located on the west side of the street on the block between Potomac Avenue and Manchester Place. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

A two-and-one-half story, side gabled, urban, frame residence of mixed Colonial Revival styling. It has a rough rectangular plan. The façade has a full-width flat roofed porch with square column supports, open patterned wood rail, moderate frieze and cornice, and a railed entry stair to the north. The enframed main entrance is located in the north bay of the façade. A framed single window sets to the north of the entrance, in the far side bay. A triple windowed polygonal bay occupies the south bay. The second floor façade is defined by matching triple windowed polygonal oriels sets in each side bay. Two gabled dormers accented by trimmed end returns and single windows with arched enframements and fanlights set evenly spaced on the front roof slope. Closed side gable ends with windowing. First-story roofed polygonal bay visible to the rear on the south elevation. Brick chimney sets near the ridge, far to the south on the front slope. Rear section not included under the main side gable. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1, 6/1, 9/1 and 15/1 lights and fixed with multi-paning. Additional detailing includes belt course, frieze and cornice, trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 786 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of mixed Colonial Revival styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 787 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Emerson C. Dell Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 787 Richmond Avenue is set on a slightly shortened standard lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

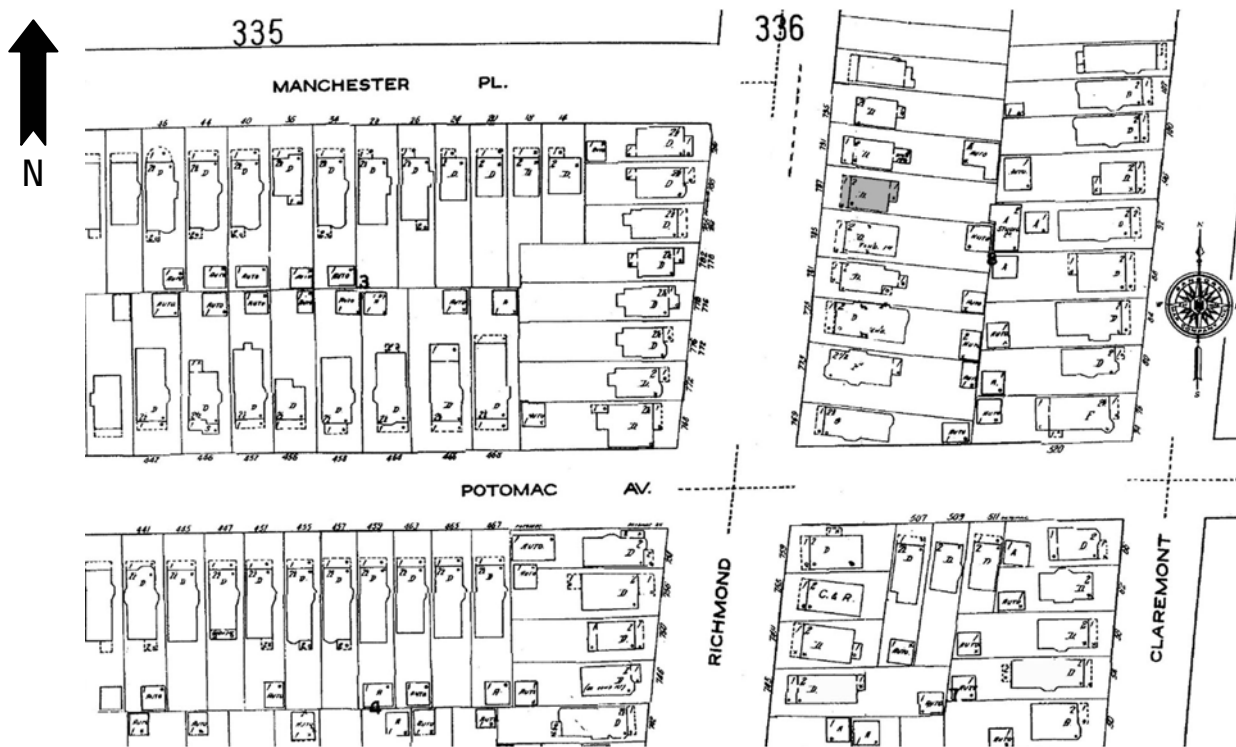
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of Queen Anne influenced style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 787 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its general styling and character, despite the changes in exterior fabrics.

MAP: Sanborn Map (Revised 1886) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-12; N-26)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 788 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 788 Richmond Avenue is set on a shortened slightly trapezoidal lot, located on the west side of the street, at the north end of the block between Potomac Avenue and Manchester Place. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

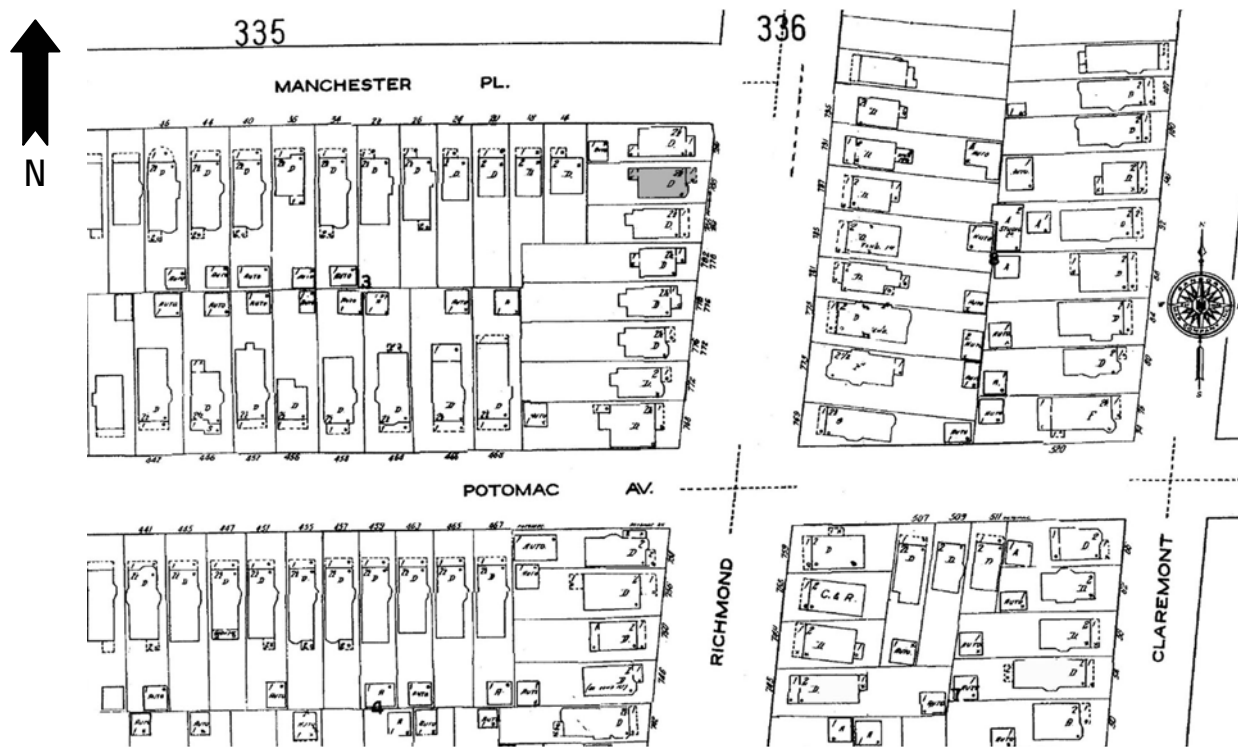
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of mixed period Colonial influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 788 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics.

MAP: Sanborn Map (Revised 1986) – Plate 344







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 790 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 790 Richmond Avenue is set on a shortened slightly trapezoidal corner lot, located on the west side of the street on the block between Potomac Avenue and Manchester Place. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

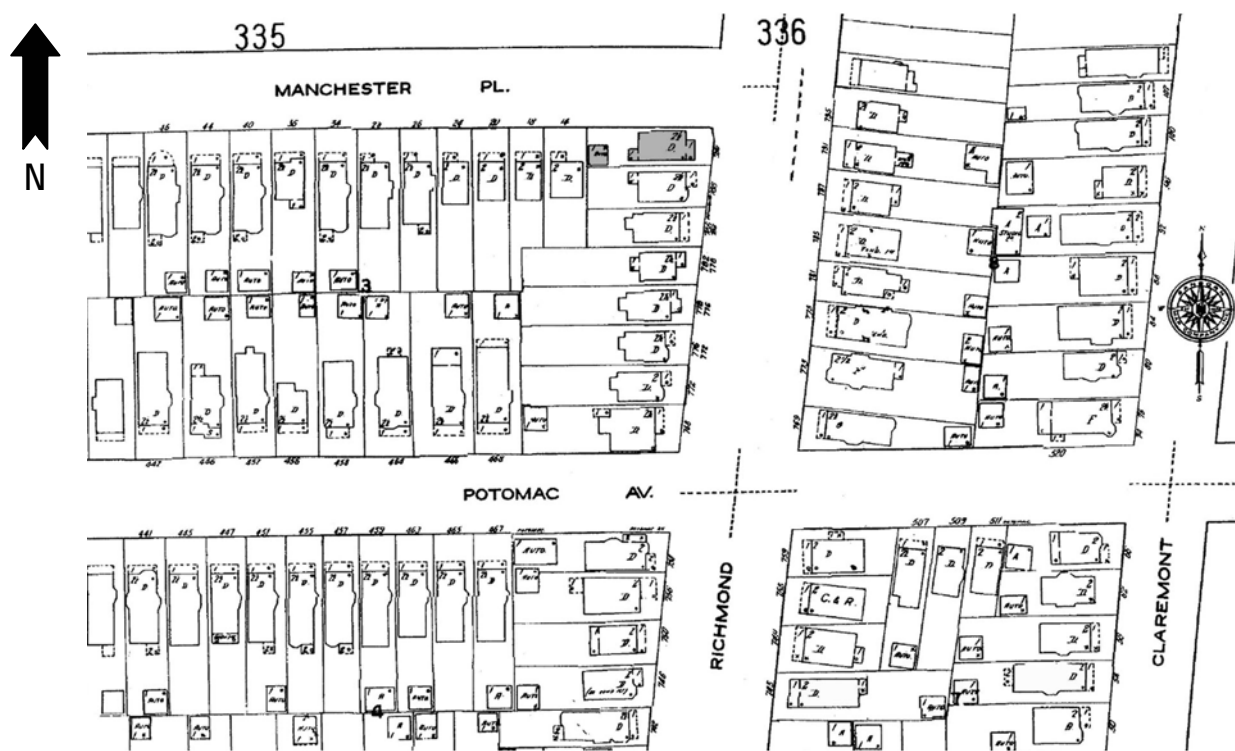
A two-story, hipped roof, urban, frame, foursquare residence of Craftsman influenced styling. It has a rough short rectangular plan and is set on a stone foundation. The façade has a 2/3-width, subtle hipped roof, enclosed porch with solid paneled wood base, continuous windowed upper with transom spaced by square pilasters, and plain frieze. The enframed main entrance is located centrally on the porch façade, reached by a railed entry stair. A single window sets in the far south bay of the façade. The second floor façade is defined by paired windows set in either side bay. A low hipped roof dormer accented by a triple window group sets on the front roof slope. A similar dormer sets on the north roof slope. Exterior brick chimney visible on the north slope and elevation to the front of the dormer. A modest roofed rectangular oriel sets to the rear on the north elevation. Exterior wall fabric is wood shingle. Fenestration is double-hung wood sash with 1/1 and 9/1 lights and fixed, with multiple panes. Additional details include slightly extended eaves with exposed rafter tails, simple corner boards, frieze, and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 790 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame, foursquare residence of Craftsman influenced styling. Modestly styled singles and doubles of the prevailing trends were common housing for families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-26)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 795 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 795 Richmond Avenue is set on a standard lot, located on the east side of the street between on the clock between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

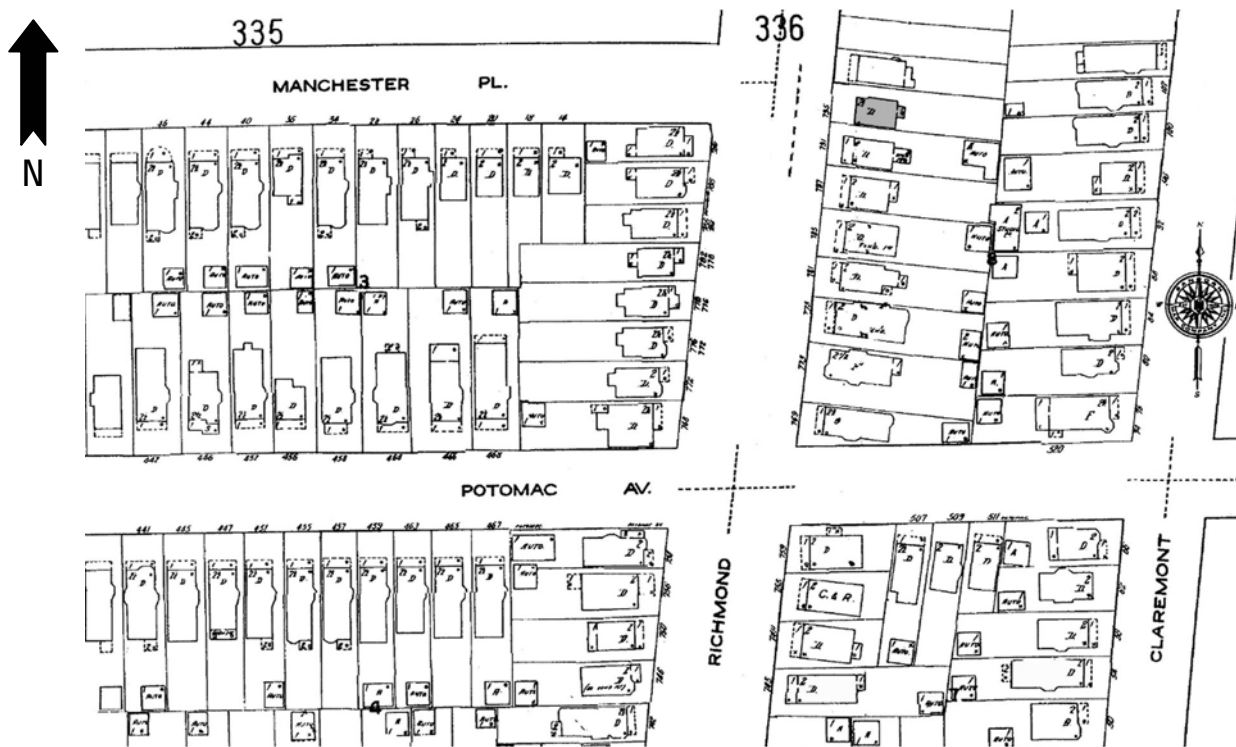
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame, foursquare residence of simple mixed period Craftsman style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 795 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-29; N-32)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 801 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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The single-family house at 801 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne influenced style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 801 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains general character.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-29; N-34)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 802 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 802 Richmond Avenue is set on a shortened slightly trapezoidal corner lot, located on the west side of the street, at the south end of the block between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban residence of Craftsman and Prairie styling. It has a rectangular plan. The main entrance is located on the south elevation, fronting Manchester Place, set within a shallow enclosed brick vestibule and reached by a modest entry stair. The façade has a full-width enclosed porch with solid brick base, continuous windowed upper spaced by ½-height square pilasters, and entablature. The second floor façade has an open porch with metal rail and awning supports in the north bay, a framed arched porch entrance in the north, and a wide single window in the south bay. A hipped roof dormer accented by a triple window group sets on the front roof slope. A similar dormer sets on the south roof slope. Exterior brick chimney visible on the south slope and elevation to the front of the dormer and entrance. Exterior wall fabric is brick on the lower story, stucco upper, and wood shingle on the dormers. Fenestration is primarily one-over-one double-hung wood sash and fixed, with multiple panes. Additional details include slightly extended eaves, exposed rafter tails, simple belt course, and framing.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 802 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban residence of Craftsman and Prairie styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Though such dwellings were typical housing for families in the early twentieth century on the West Side, those of the earlier Queen Anne style are most predominant. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-27)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 803 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 803 Richmond Avenue is set on a standard lot located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne influenced style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 803 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its general character. Built for M.J. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-29; N-35)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 804 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Stephen R. Berry Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 804 Richmond Avenue is set on a shortened slightly trapezoidal lot, located on the west side of the street, at the south end of the block between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban residence of moderate Craftsman styling. It has a rectangular plan. The façade has a full-width porch with ½-height patterned square columns set atop a solid stucco covered rail and base, simple frieze space, and hipped pent overhang. An entrance sets in the north bay; a large shuttered window occupies the south bay. The second floor façade has an open porch with metal rail, a porch entrance in the north aligned over the lower entrance, and a wide single window with shuttering in the south bay similarly aligned over the lower windowing. A gabled dormer accented by verge boards and a triple window group sets on the front roof slope. A similar dormer sets on the north roof slope. An entrance is located on the north elevation; two-story rectangular bay visible to the front. Several brick chimneys visible. Exterior wall fabric is stucco. Fenestration is double-hung wood sash with 1/1, 6/1, and 8/1 lights and fixed. Additional details include slightly extended eaves, exposed rafter tails, and simple framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 804 Richmond Avenue is significant as a good representative example of an architect designed, two-story, hipped roof, urban residence of moderate Craftsman styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Though such dwellings were typical housing for families in the early twentieth century on the West Side, those of the earlier Queen Anne style are most predominant. Built for Harry E. Phillips. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-28)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 807 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 807 Richmond Avenue is set on a standard lot located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne influenced style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 807 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its general character. Built for M.J. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-29; N-36)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 808 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 808 Richmond Avenue is set on a shortened slightly trapezoidal lot, located on the west side of the street on the block between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban residence of mixed period, Colonial influenced styling. It has a rectangular plan. The façade has a full-width porch with column supports, open wood rail, large entablature, and a slight projection in the south over the metal railed entry stair. The modestly enframed and sidelighted main entrance is located in the south bay on the façade. A large window group occupies the north bay. The second floor façade has a porch with metal supported awning and open wood rail with ½-height wood posts. Polygonal oriel with central inset porch entrance sets in the south bay; a triple window group sets in the south. The front roofline is interrupted by a lower front gable with single window accent in the south. A small gabled dormer with paired window accents sets on the remaining north portion of the front roof slope. Closed side gable ends with windowing. Shallow two-story rectangular bay visible on the south elevation. Rear section not included under the main side gable. A similar gabled dormer sets on the south slope of the rear roof. Exterior wall fabric is brick on the lower story, stucco upper. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple belt course, frieze, and framing.

A garage sets in the rear.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 808 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban residence of mixed period, Colonial influenced styling. Moderately styled singles doubles of the prevailing trends, such as this, were common housing for families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. Built for Harry E. Phillips. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-29)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 810 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 810 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

**NON-CONTRIBUTING**

A two-story, hipped roof, urban residence of mixed period styling

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 810 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. It retains little of its initial detailing and character, though the general style is still discernable. Built for Harry E. Phillips.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-30)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 811 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 811 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 811 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics to altered asbestos shingling, the residence retains some of its initial styling and character. Built for M.J. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-29; N-37)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 813 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 813 Richmond Avenue is set on a ell-shaped lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban residence of foursquare influenced design and mixed period styling. It has a rough short rectangular plan. The façade has a full-width hipped roof porch with square wood post supports, plain frieze space, and open wood rail. An entrance and simple single windowing define the lower façade, under the porch. The upper-story façade is defined by angled paired window oriels set in either side bay and a small central window. A low hipped roof dormer with window accent sets on the front roof slope. A similar dormer sets on the north roof slope. A tall brick chimney is visible on the north slope. Entrance visible on the north elevation, beneath a shallow rectangular projection. Exterior wall fabric is brick with wood shingle upper. Fenestration is primarily one-over-one double-hung wood sash and fixed, with latticed panes. Additional details include slightly extended eaves, simple belt course, frieze, and framing.

A garage in the rear north corner ell on the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 813 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban residence of foursquare influenced design and mixed period styling. Modestly styled singles and doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. Built for William W. Oliver. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-1)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 814 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 814 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of Queen Anne influenced styling

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 814 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics. Built for Harry E. Phillips.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-31)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 816 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 816 Richmond Avenue is set on a rectangular lot, located on the west side of the street between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

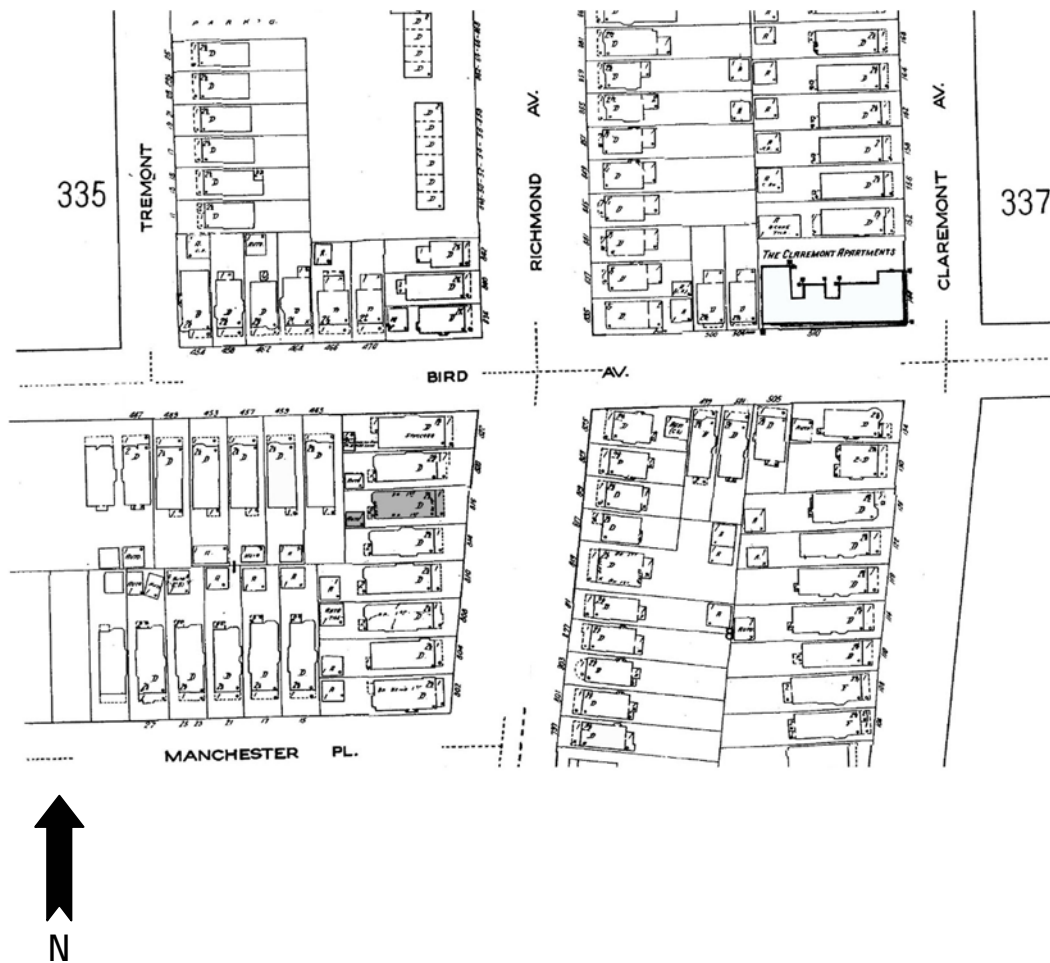
A two-and-one-half story, side gabled, urban residence with mixed period, Colonial influenced styling. It has a rectangular plan. The façade has a full-width porch with ¾-height square elephantine column supports set atop capped brick piers, metal rail, large entablature, and a railed entry stair in the south. The modestly enframed and sidelighted main entrance is located in the south bay of the façade. A large triple window group occupies the north bay. The second floor façade has a porch with metal rail and awning in the north, a triple window in the north bay, and a polygonal oriel in the south that rounds the corner; porch entrance in the northernmost face of the oriel. The front roofline is interrupted by a large shed roof dormer with front pediment peaks and paired windowing. Closed side gable ends with windowing. Shallow two-story rectangular bay visible on the south elevation. Rear section not included under the main side gable. Exterior wall fabric is brick on the lower story, stucco upper, wood shingle on the dormer. Fenestration is double-hung wood sash with 1/1, 6/1, 8/1 and fixed; sills and keystone lintels. Additional detailing includes simple belt course, frieze, and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 816 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban residence with mixed period, Colonial influenced styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Harry E. Phillips. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH:  
Forest: R-25; N-

(Grant-Ferry-32)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 817 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Email: cbca@buffnet.net

Date: 03/2004

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 817 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence of modest Colonial Revival styling. It has a short regular rectangular plan and is set on a stone foundation. The façade has a 1/2-width flat roofed porch with slender supports, metal rail, and plain frieze space. A framed entrance is located on the north bay of the façade, under the porch. A leaded window sets to the north of the entrance in the far side bay, under the porch. A framed and shuttered triple window group occupies the south bay. The second floor façade has a rectangular oriel with a framed and shuttered paired window in the north and a framed and shuttered single window in the south bay. A hipped roof dormer with triple window accent sets on the front roof slope. Open side gable ends with windowing. Exterior wall fabric is wood clapboard and wood shingle. Fenestration is double-hung wood sash with 1/1, 6/1, 12/1 and fixed. Additional detailing includes simple belt course and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 817 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of modest Colonial Revival styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 819 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 819 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. It has a short regular rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof porch with metal rail supports and rail, plain frieze, and railed entry stair in the south. The main entrance is located on the façade off center to the south, set within a curved enclosed vestibule under the porch. A window sets to the south of the entrance in the side bay. A large window group occupies the north bay. The second floor façade has a triple windowed polygonal oriel in the south bay and a single window in the north bay. The pent enclosed, rough wood shingled gable end is punctuated by a paired window. A shed roof dormer sets on the north roof slope. Exterior wall fabric is wood clapboard and wood shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze with reserved lookouts, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 819 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Allen E. Klopp. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-3)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 820 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 820 Richmond Avenue is set on a slightly trapezoidal lot, located on the west side of the street on the block between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two- story, hipped roof, urban, frame residence of subtle Queen Anne period influenced styling. It has a rectangular plan. The façade has a full-width porch with metal rail and supports, ½-height column supports set on tall shingle covered piers, and frieze with flattened arch cutouts. The framed main entrance is located centrally on the façade. Symmetric framed single windows set in either side bay. The second floor façade has an open porch with metal rail and supports, a central porch entrance, and symmetric windowing in the side bays all aligned over the lower story entrance and windowing. A large gabled dormer with small quartet ribboned window accent sets on the front roof slope. Flat roofed entrance visible on the south elevation. Brick chimney sets low and to the front on the south roof slope. Exterior wall fabric is wood clapboard and wood shingle. Fenestration is double-hung wood sash with 1/1, 4/1, 8/1 and fixed. Additional detailing includes simple frieze and trim.

A garage set in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 820 Richmond Avenue is significant as a good representative example of a two- story, hipped roof, urban, frame residence of subtle Queen Anne period influenced styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Harry E. Phillips. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-33)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 822 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 822 Richmond Avenue is set on a slightly trapezoidal corner lot, located on the west side of the street at the north end of the block between Manchester Place and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood

A one-story, low hipped roof, urban residence of Craftsman, Prairie styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof porch with square columns, open wood rail, moderate frieze space, extended eaves with exposed rafter tails, and entry stair in the far south bay. The main entrance is located in the far south bay of the façade. A large triple window group occupies the north bay. A low shed roof dormer with paired window accent sets on the front roof slope. A similar dormer of larger size sets on the north roof slope; gabled dormer visible further to the rear. Roofed polygonal bay visible on the north elevation. Exterior brick chimney visible to the front on the north elevation; additional brick chimney further to the rear in front of the gabled dormer. Exterior wall fabric is stucco. Fenestration is double-hung wood sash and fixed, with multiple panes. Additional details include extended eaves, exposed rafter tails, and simple framing.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 822 Richmond Avenue is significant as a good representative example of a one-story, low hipped roof, urban residence of Craftsman, Prairie styling. A style characteristic of early twentieth century residences, and indicative of its slightly later building date. Though such dwellings were typical housing for families in the early twentieth century on the West Side, those of the earlier Queen Anne style are most predominant. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-34)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 823 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 819 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Potomac Avenue and Bird Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. It has a short rectangular plan and is set on a stone foundation. The façade has a full-width flat roofed porch with simple square columns, open wood rail, plain frieze, and an entry stair to the north. The main entrance is located on the façade off center to the north, set within an enclosed vestibule under the porch. A window sets to the north of the entrance in the side bay. A window group occupies the south bay. The second floor façade has a triple windowed polygonal oriel in the north bay and a curved oriel with a single window accent in the south bay. The pent enclosed, decorative wood shingled gable end is punctuated by a recessed triple window with colonnettes and balustrade. Additional side entrance visible on the north elevation, beneath a shallow rectangular oriel. Tall brick chimney on the north roof slope. Exterior wall fabric is wood clapboard and wood shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 823 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Allen E. Klopp. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-4)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 835 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 835 Richmond Avenue is set on a shortened corner lot, located on the east side of the street, at the south end of the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

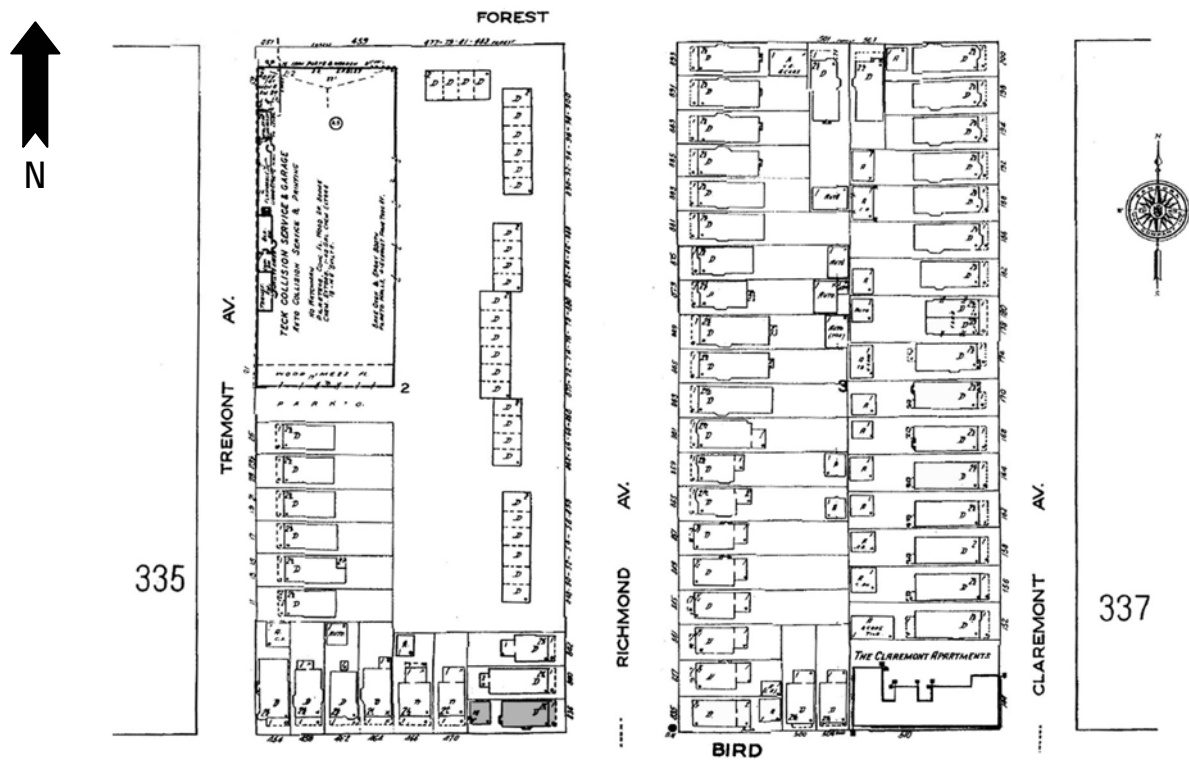
**NON-CONTRIBUTING**

A two- story, side gabled, urban residence with mixed period, Tudor Revival influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 835 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-6)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 836 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 836 Richmond Avenue is set on a shortened corner lot, located on the west side of the street, at the south end of the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

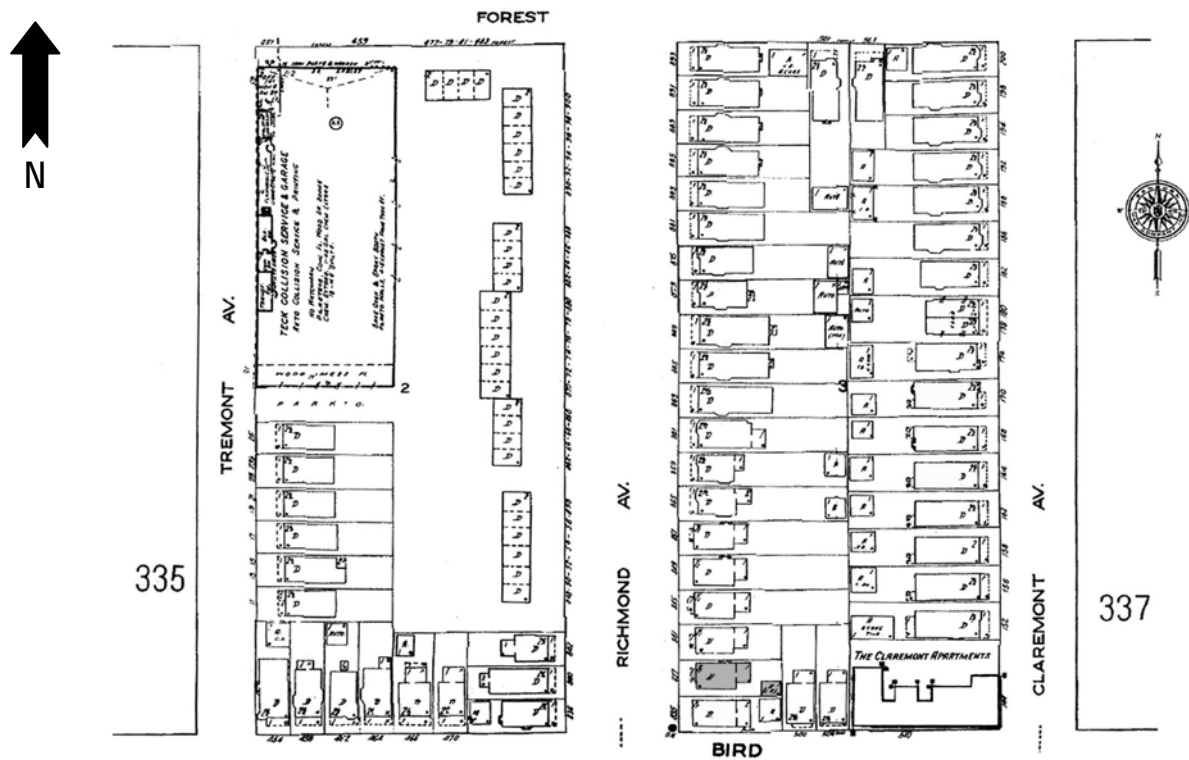
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 836 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling and character. Built for M.J. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-35)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 840 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

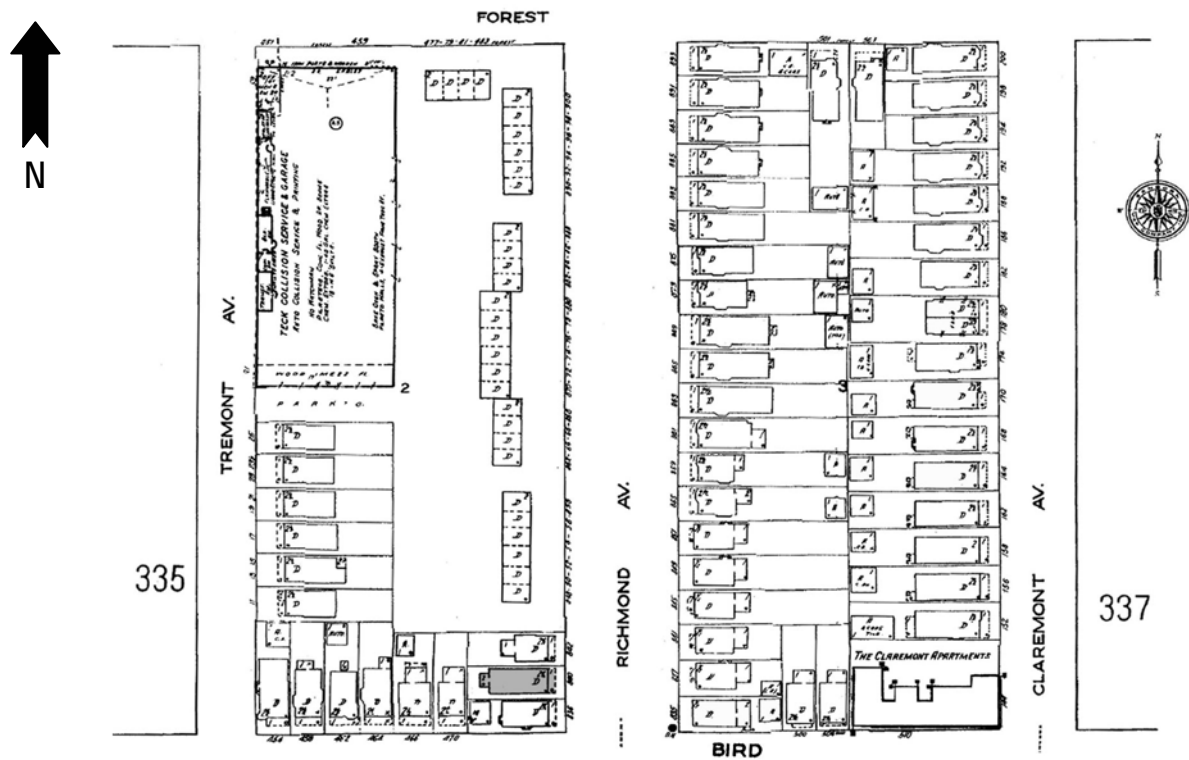
The single-family house at 840 Richmond Avenue is set on a shortened lot, located on the west side of the street, at the south end of the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban, frame residence of modest mixed Queen Anne influenced styling. It has a regular rectangular plan. The façade has a full-width porch - north 3/4s enclosed with solid brick base, continuous windowed upper spaced by 1/2-height square brick pilasters, and entablature; entry porch in the south. The main entrance is located in the south bay of the façade, under the porch. The second floor façade has an open porch with metal rail, framed porch entrance in the south, and a triple windowed polygonal bay in the north. A pedimented dormer accented by a triple window group with latticed panes sets on the front roof slope. A similar dormer sets on the south roof slope. Brick chimney visible near the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with multiple panes. Additional details include modest corner boards, frieze, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 840 Richmond Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed Queen Anne influenced styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for M.J. Hudson. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-36)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 841 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 841 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

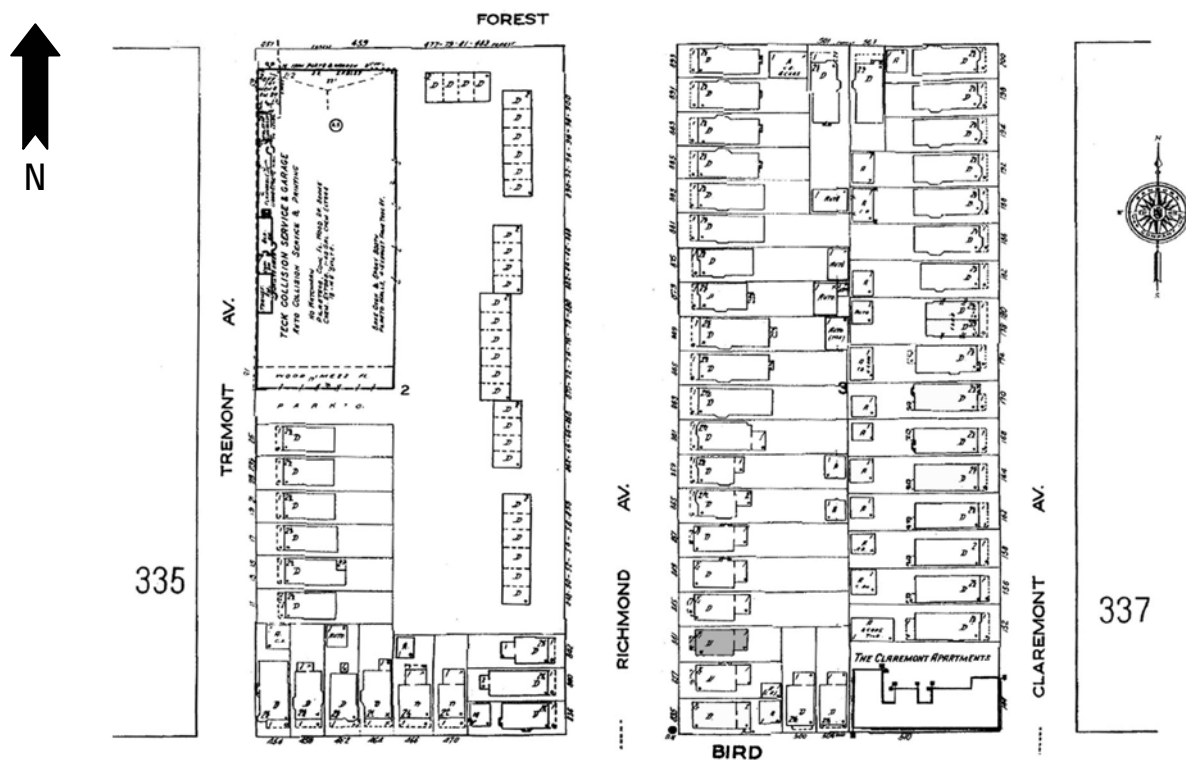
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of mixed period Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 841 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence has suffered noted alterations and deterioration. It retains little of its initial detailing and character, though the general style is still discernable.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 842 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 842 Richmond Avenue is set on a shortened lot, located on the west side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

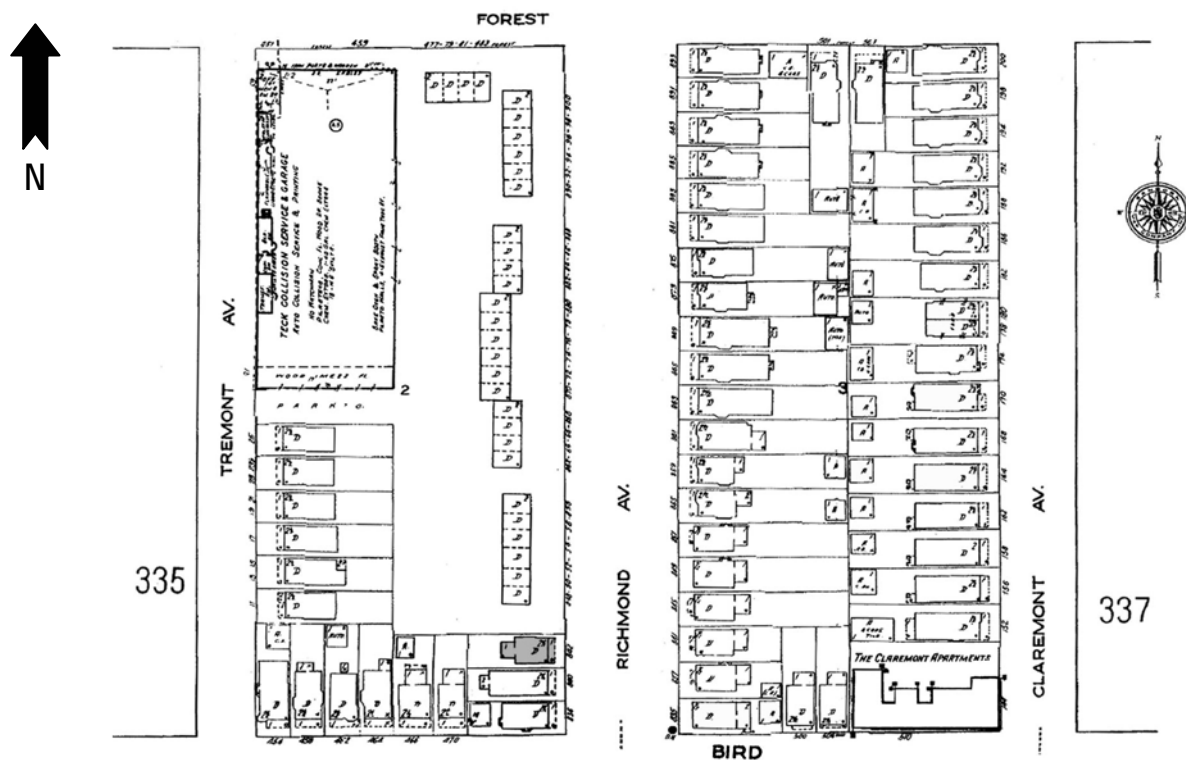
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame of modest Queen Anne styling

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 842 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains much of its initial styling and character, despite the changes in exterior fabrics. Built for M.J. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-25; N-37)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 845 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 845 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

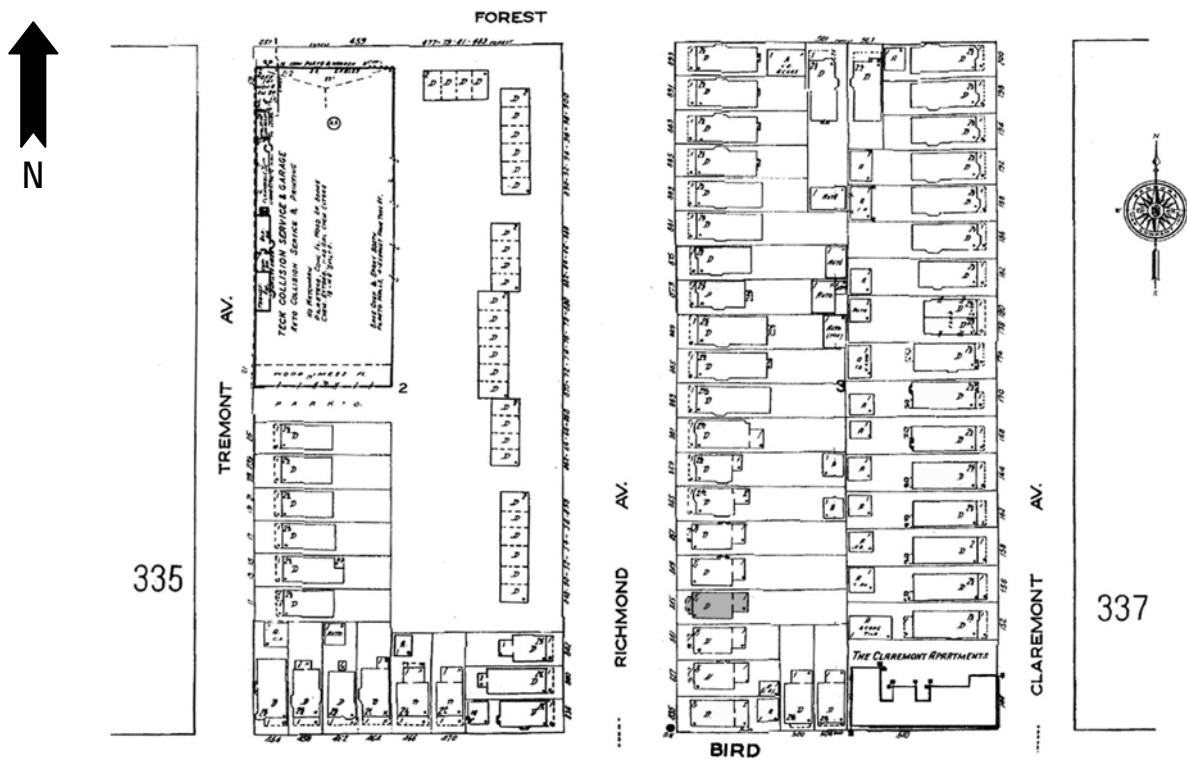
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of mixed period Colonial influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 845 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence has suffered noted alterations and deterioration. It retains little of its initial detailing and character, though the general style is still discernable.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 849 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 849 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

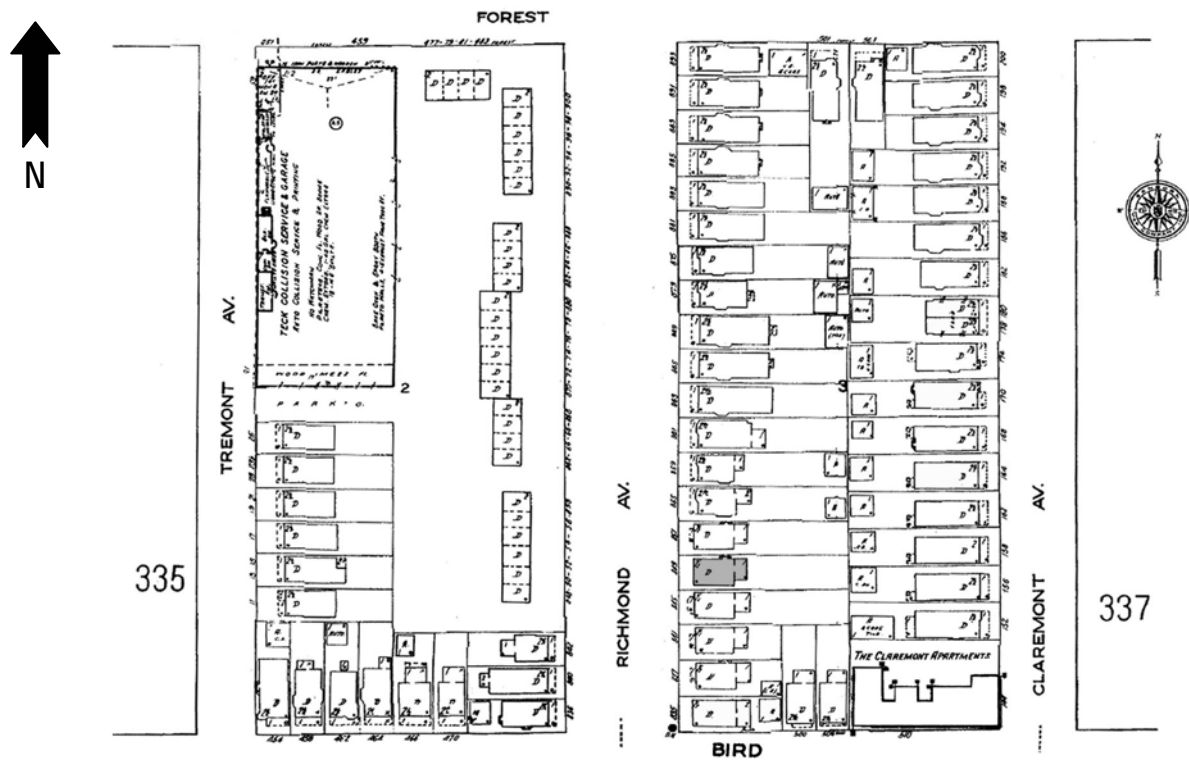
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of high mixed period Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 849 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains the majority of its initial styling and character, despite the changes in exterior fabrics.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-10)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 855 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 855 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

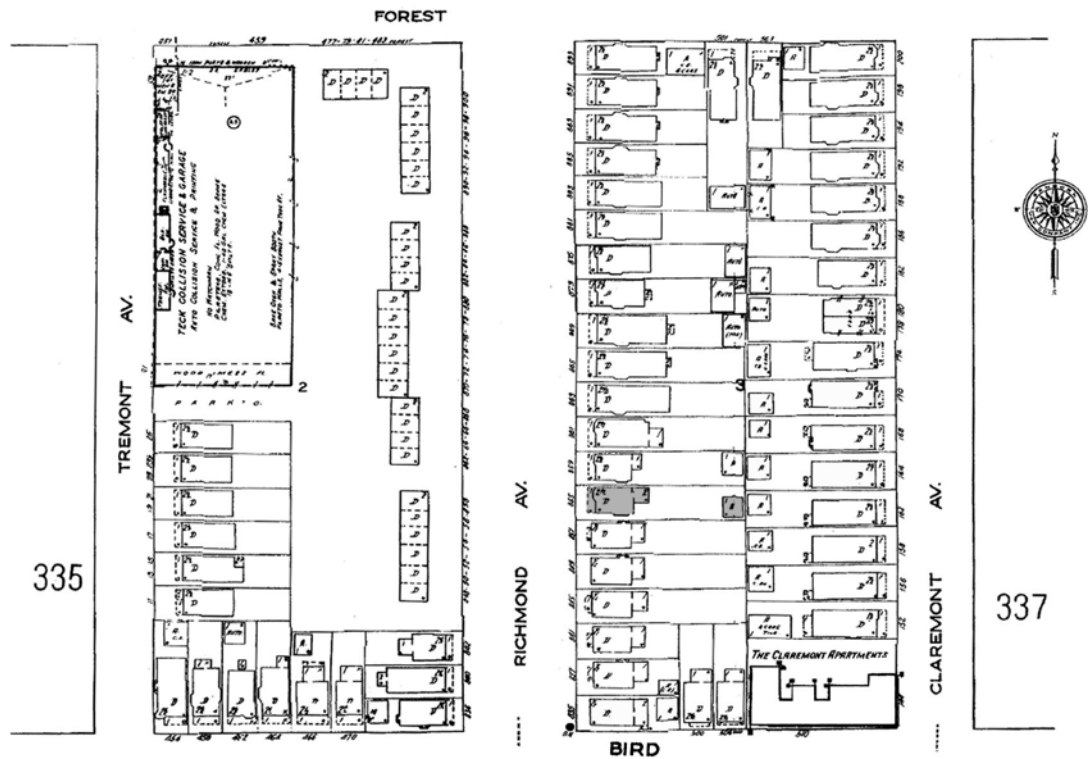
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of mixed Colonial influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 855 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling and character. Built for David Linzy.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 859 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 859 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

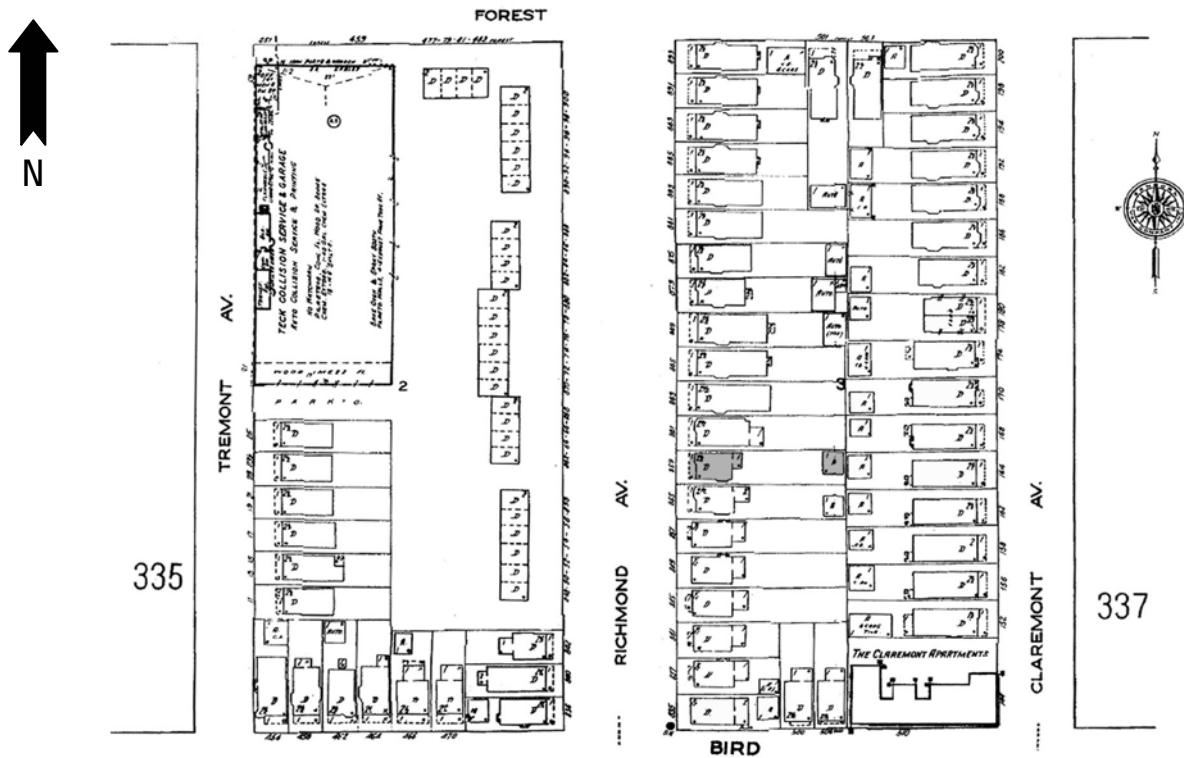
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of mixed Colonial influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 859 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling and character. This house was moved here by David Linzy from another location in 1903.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-13)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 861 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 861 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

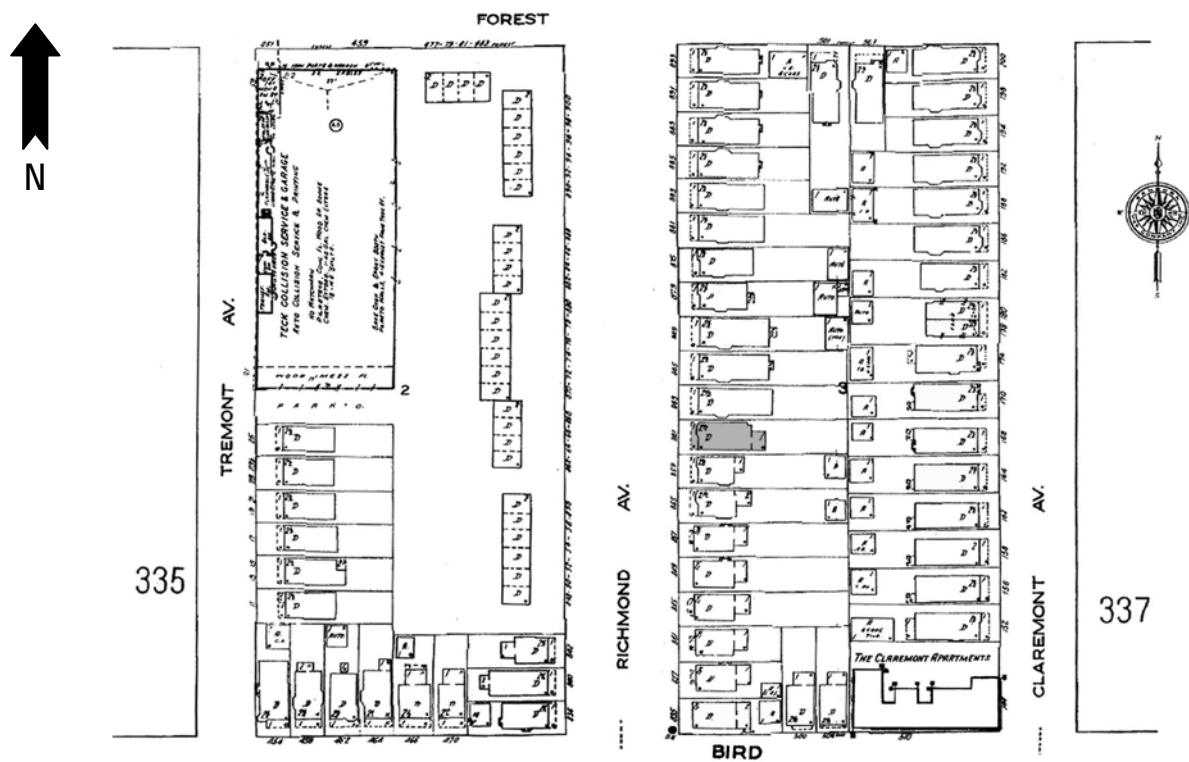
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 861 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains some of its initial styling and character, despite the changes in exterior fabrics.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 863 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

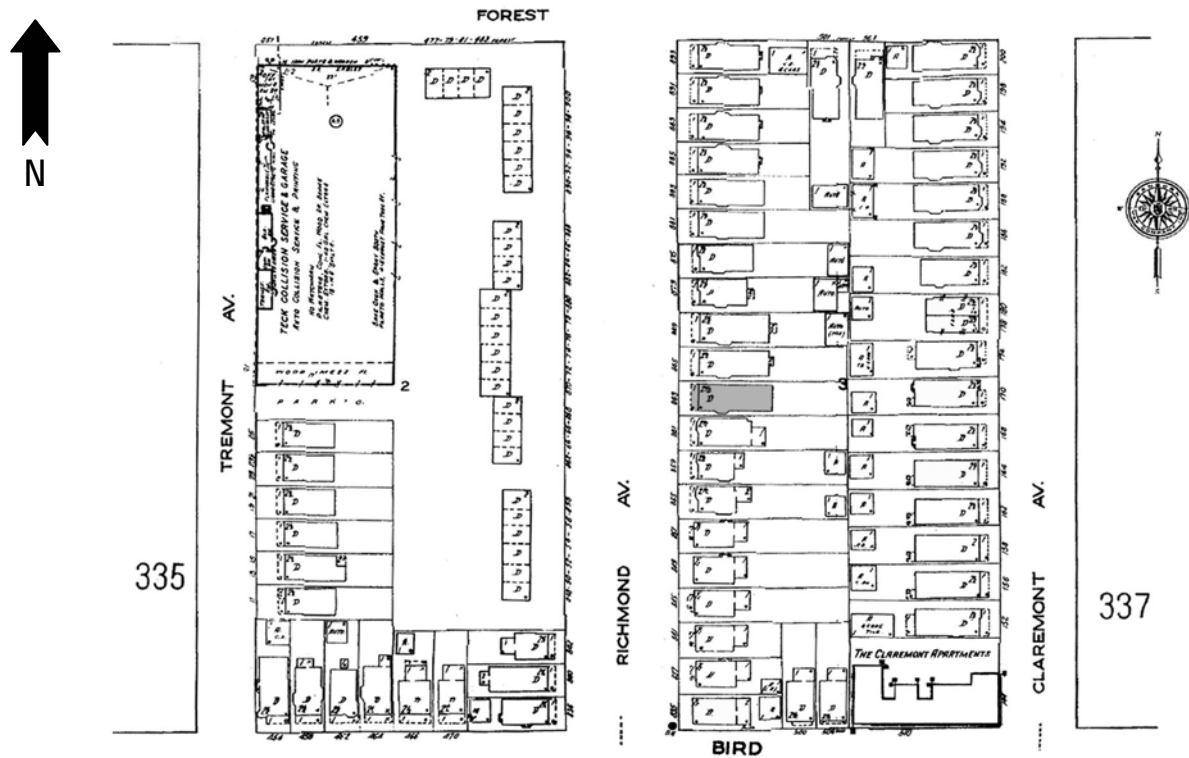
The two-family house at 863 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with  $\frac{3}{4}$ -height column supports set on capped stone piers, patterned open wood rail, modest frieze, and an entry stair in the far north. The main entrance is located in the north bay of the façade. A window sets to the north of the entrance, in the far side bay. A triple window occupies the south bay. The second floor façade has an open porch with patterned open wood rail and metal awning supports, a porch entrance in the north bay aligned over the main entrance, and a triple windowed polygonal oriel in the south. The pent enclosed front gable end is punctuated by a triple window group accent; peak closed. Closed side cross gable on the south roof slope; lower polygonal bay. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved frieze with lookouts, belt course, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 863 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for William P. Volgamore & Co. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-15)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 865 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use \_\_\_\_\_ Current use \_\_\_\_\_

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known \_\_\_\_\_

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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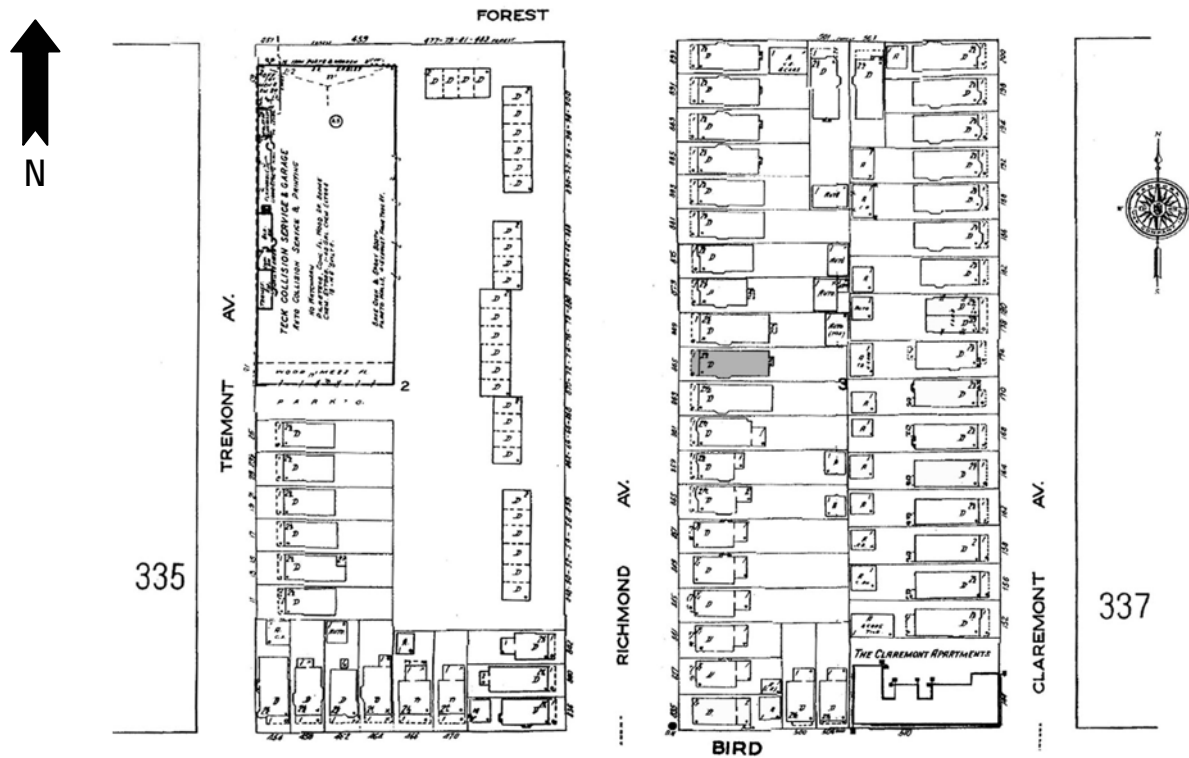
The two-family house at 865 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with  $\frac{3}{4}$ -height column supports set on capped stone piers, patterned open wood rail, modest frieze, and an entry stair in the far north. The main entrance is located in the north bay of the façade. A window sets to the north of the entrance, in the far side bay. A triple window group occupies the south bay. The second floor façade has an open porch with patterned open wood rail and metal awning supports, a porch entrance in the north bay aligned over the main entrance, and a triple windowed polygonal oriel in the south. The pent enclosed front gable end is punctuated by a triple window group accent; peak closed. Closed side cross gable on the south roof slope; lower polygonal bay. Brick chimney visible at the ridge on the side gable. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved frieze with lookouts, belt course, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 865 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for William P. Volgamore & Co. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 869 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 869 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

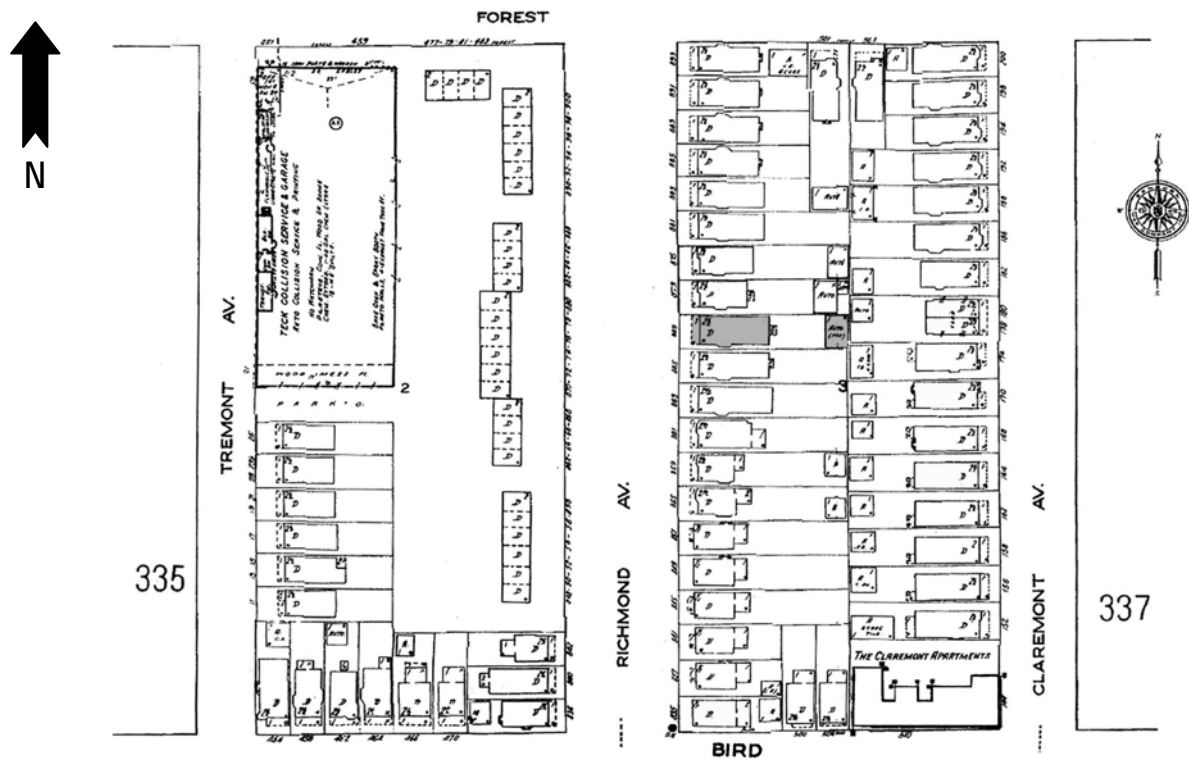
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of modest mixed period Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 869 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-17)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 875 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 875 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

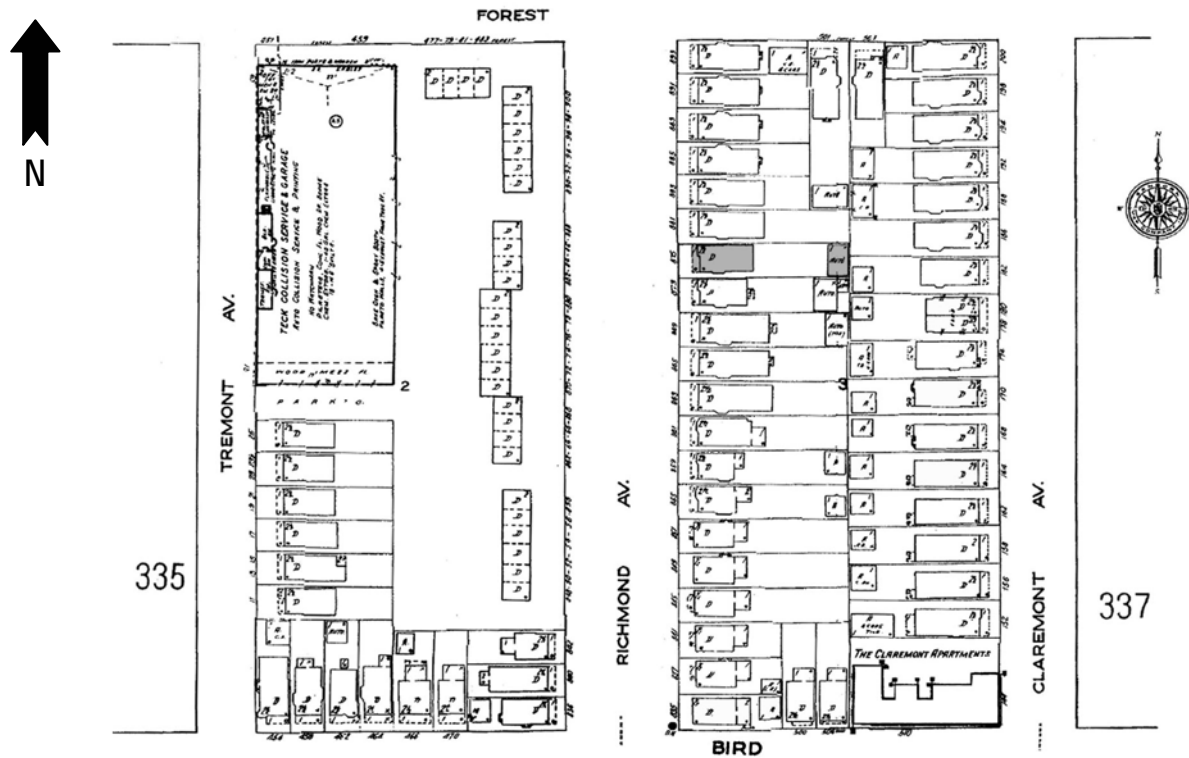
A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with column supports, spindled wood rail, modest molded frieze, and a metal railed entry stair in the far north. The modestly enframed and sidelighted main entrance is located in the north bay of the façade. A triple window occupies the south bay. The second floor façade has an open porch with modern metal rail and supports, a porch entrance in the north bay aligned over the main entrance, and a triple windowed polygonal oriel in the south. The pent enclosed front gable end is accented with decorative shingle and punctuated by a single window with enframingent. Brick chimney visible at the ridge on the side gable. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 875 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Henry H. Lanctot. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 881 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

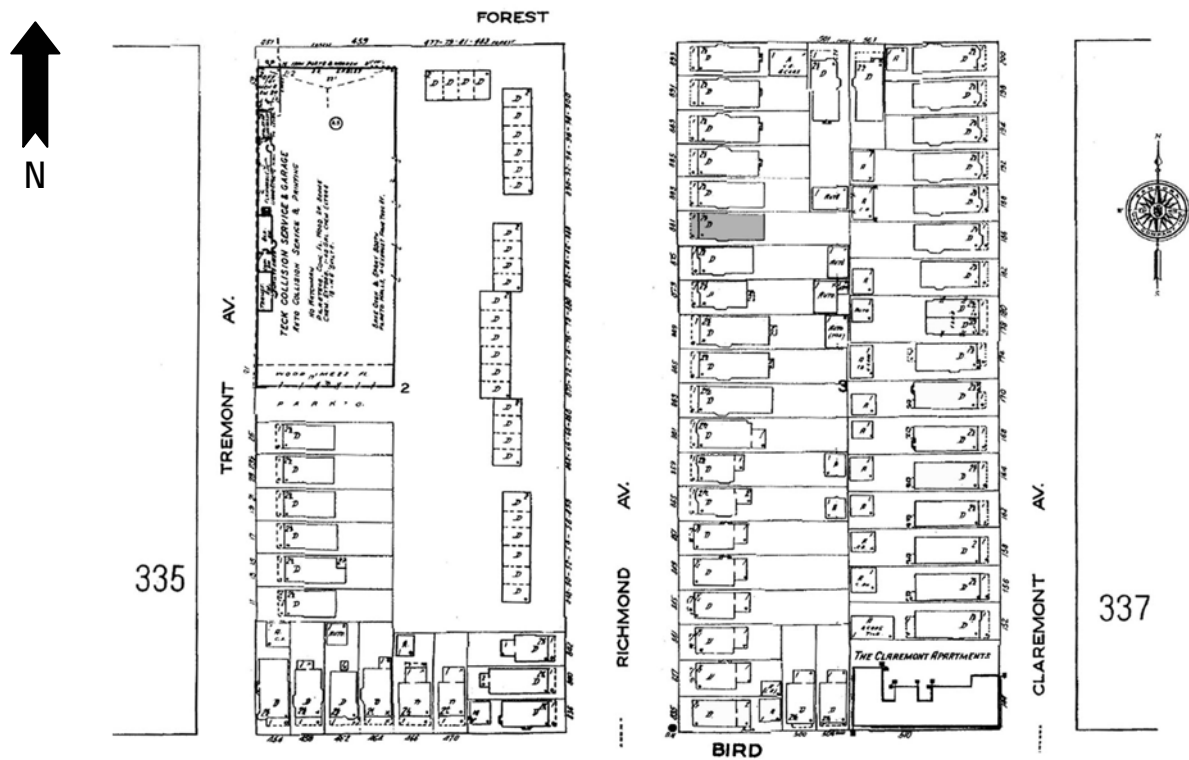
The two-family house at 881 Richmond Avenue is set on a standard lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with slender column supports, open wood rail, simple frieze, and a railed entry stair in the north. The main entrance is located in the north bay of the façade. A leaded window sets to the north of the entrance, in the far side bay. A triple window with 2/2 lights occupies the south bay. The second floor façade has an open porch with open wood rail, ½-height wood posts, and modern awning supports. Matching polygonal oriels set in either side bay; a porch entrance sets in the southernmost face of the north oriel. The pent enclosed front gable end is accented with triple window group. Several brick chimneys visible near the ridge. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze with brackets, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 881 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Allen A. Klopp. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-20)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 883 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

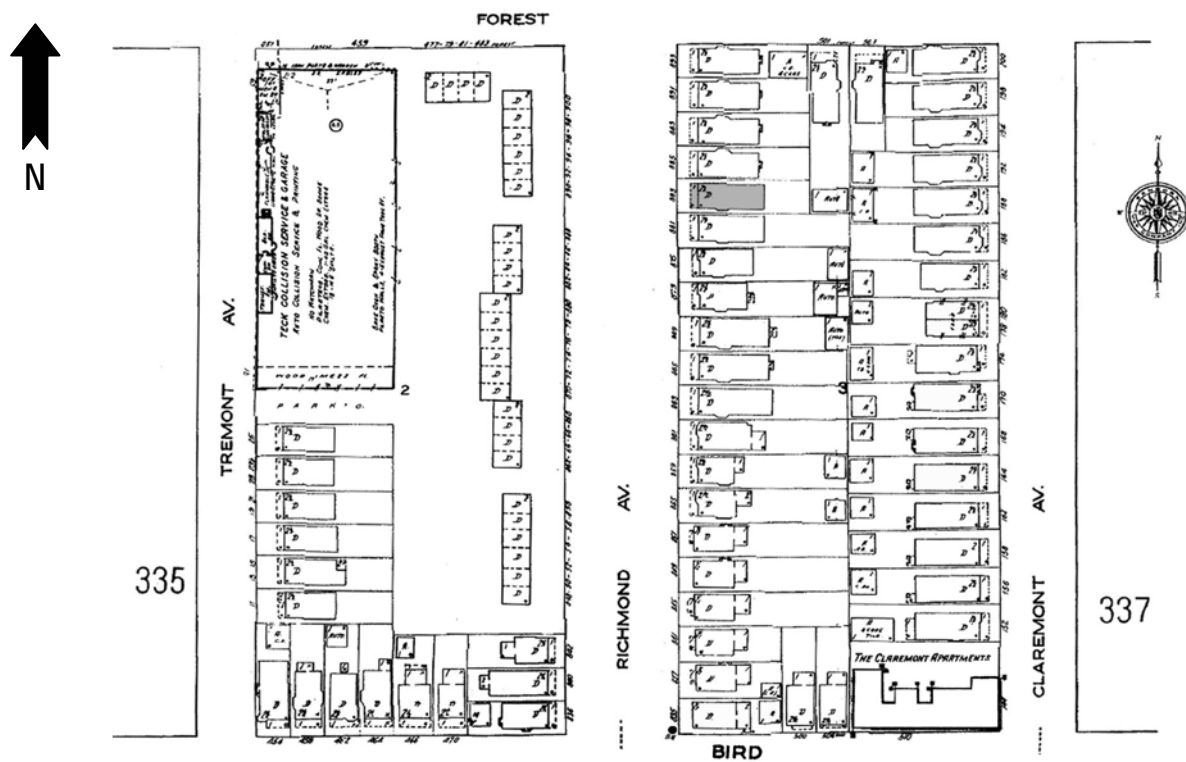
The two-family house at 883 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. It has a rectangular plan. The façade has a full-width porch with metal rail and supports, simple frieze, and a railed entry stair in the far north. The modestly enframed and sidelighted main entrance is located in the north bay of the façade. A framed triple window group occupies the south bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the north bay aligned over the main entrance, and a triple windowed polygonal oriel in the south. The pent enclosed front gable end is punctuated by a triple window group with leading accent; peak closed. Closed lower side cross gable on the south roof slope; lower polygonal oriel. Brick chimney visible at the ridge on the south roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved frieze with lookouts, corner pilasters, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 883 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for William P. Volgamore. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-21)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 885 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

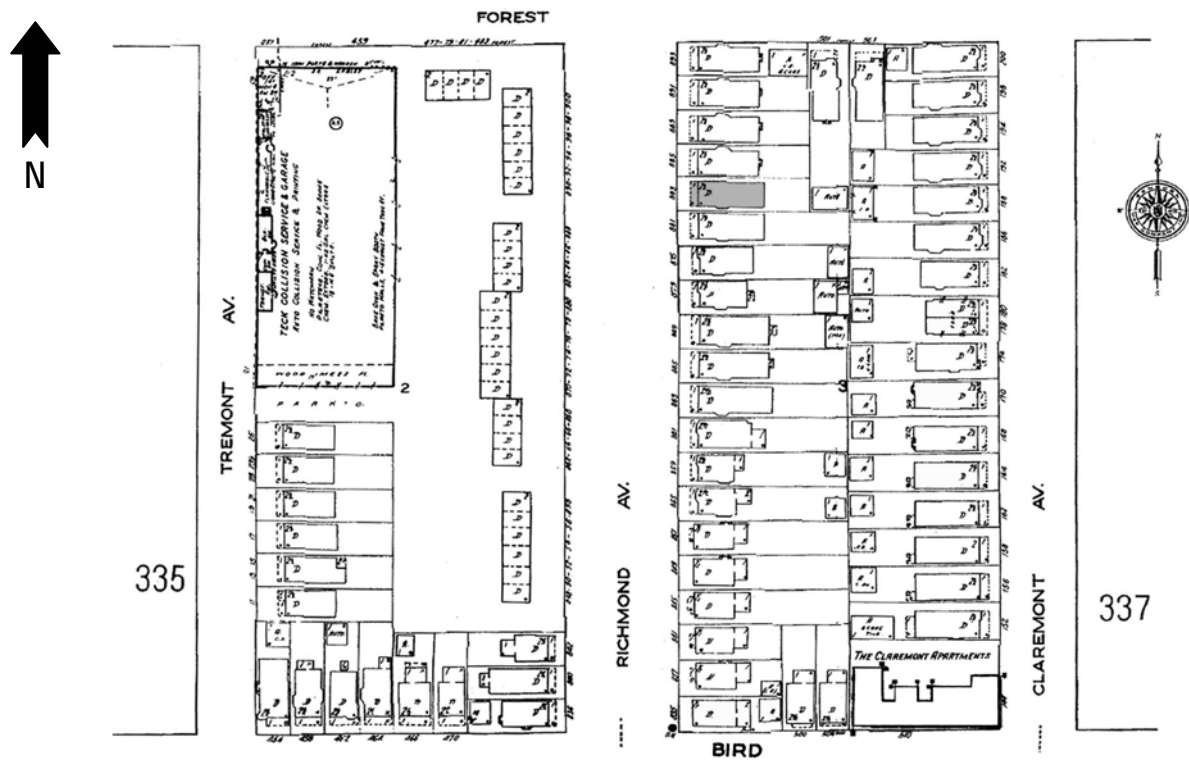
The two-family house at 885 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence with mixed period, Colonial influenced styling. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, plain frieze space, and a railed entry stair in the south. The main entrance is located in the south bay of the façade. A window sets to the south of the entrance, in the far side bay. A framed triple window group occupies the north bay. The second floor façade has an open porch with metal rail and supports, a porch in the south aligned over the main entrance, and a triple windowed polygonal oriel in the north bay. A flared hipped roof dormer with triple window accent sets on the front roof slope. Closed side gable ends with windowing. Rear section not included under the main side gable. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner boards, frieze with lookouts, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 885 Richmond Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of modest mixed Colonial Revival styling. Modestly styled doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. Built for William P. Volgamore. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-22)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 889 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 889 Richmond Avenue is set on a shortened lot, located on the east side of the street on the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

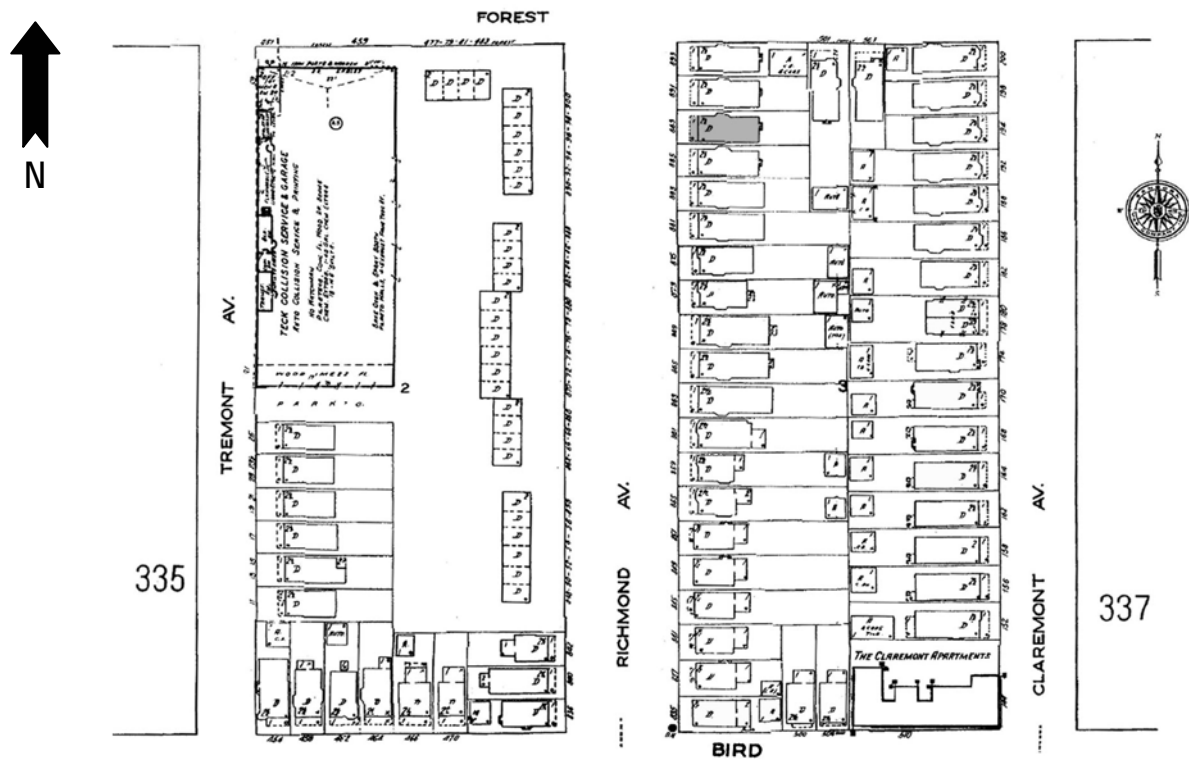
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 889 Richmond Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Built for William P. Volgamore.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-23)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 891 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

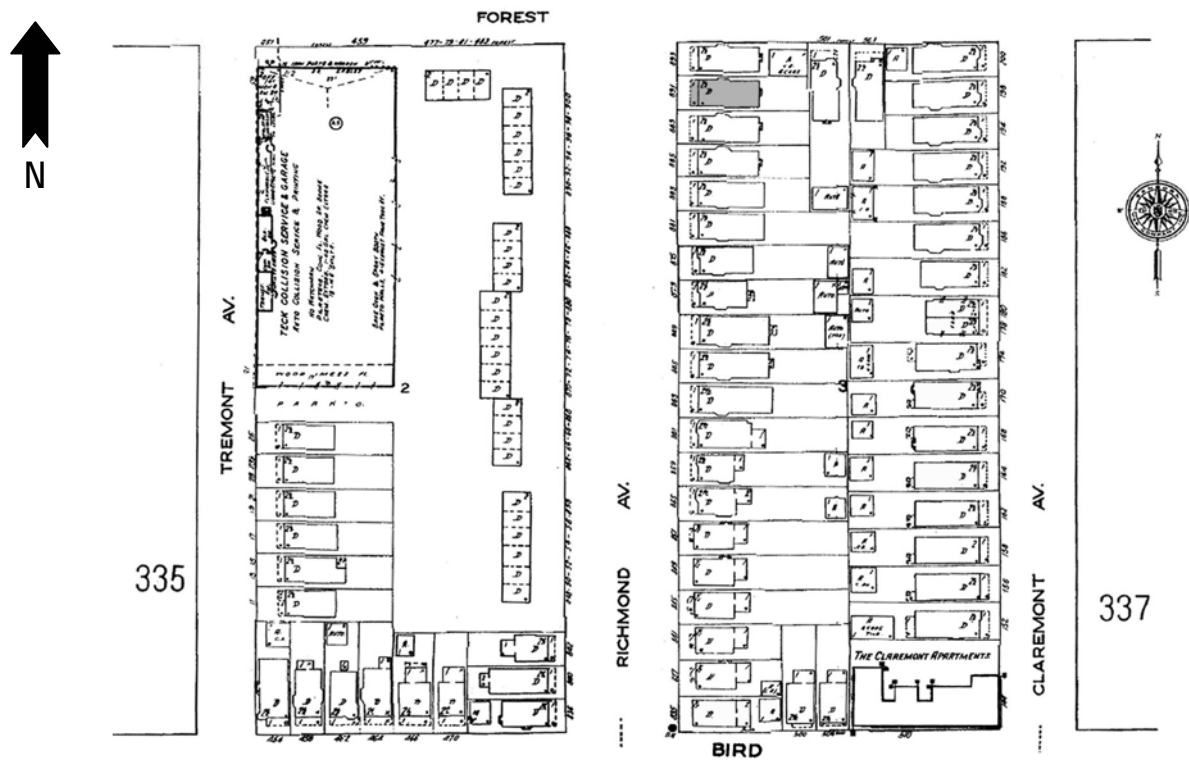
The two-family house at 891 Richmond Avenue is set on a shortened lot, located on the east side of the street, at the north end of the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne influenced styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, plain frieze, and railed entry stair in the south. The main entrance is located in the south bay of the façade. A leaded window sets to the south of the entrance, in the far side bay. A large triple window group occupies the north bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the south bay aligned over the main entrance, and a triple windowed polygonal oriel in the south. The pent enclosed front gable end is accented with a Palladian window. Exterior wall fabric is wood shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner boards, frieze with lookouts, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 891 Richmond Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne influenced styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for William P. Volgamore. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-24)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 893 Richmond Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

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The two-family house at 893 Richmond Avenue is set on a shortened corner lot, located on the east side of the street, at the north end of the block between Bird Avenue and Forest Avenue. Richmond Avenue is a large residential street that runs through the West Side on a vertical north-south axis, linking integral features of the neighborhood. A component of Olmsted and Vaux's original parkway system, it was once a prestigious addresses within the survey area and the city at large. A location of many fine homes, especially those between Ferry and Colonial Circle, it is a boundary street of the Historic District. The property is located in an upscale residential area in the north east section of the Grant-Ferry-Forest neighborhood.

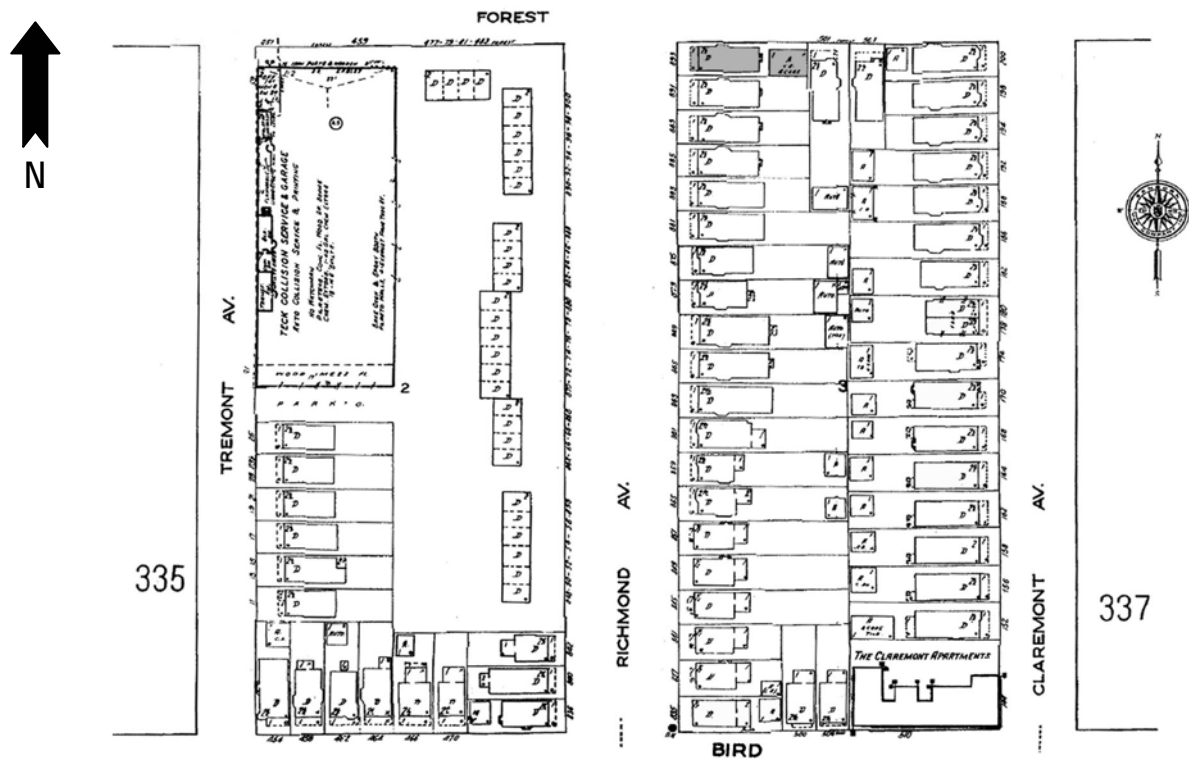
A two-and-one-half story, cross gabled, urban, frame residence with mixed period styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with simple square column supports, spindled wood rail, simple frieze, and railed entry stair in the south. The main entrance is located in the south bay of the façade. A leaded window sets to the south of the entrance, in the far side bay. A large triple window group occupies the north bay. The second floor façade has an open porch with modern metal rail, a porch entrance in the south, and a polygonal oriel in the south. A hipped roof dormer with triple window accent sets on the front slope. Closed front side gable ends with windowing. Additional lower side gable with leaded window accent contained within the lines of the main side gable on the south; lower two-story tiered triple windowed polygonal bay. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional leading. Additional detailing includes simple frieze with lookouts, and trim.

A large garage occupies the rear of the lot, fronting Forest Avenue.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 893 Richmond Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with mixed period styling. Modestly styled doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side, though those with heavy Queen Anne style were most predominant. Built for William P. Volgamore. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-30; N-25)

